



65 COLONIAL STREET,
ST. JOHN'S, NL
A1C 3N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

EMERALD MONASTERY

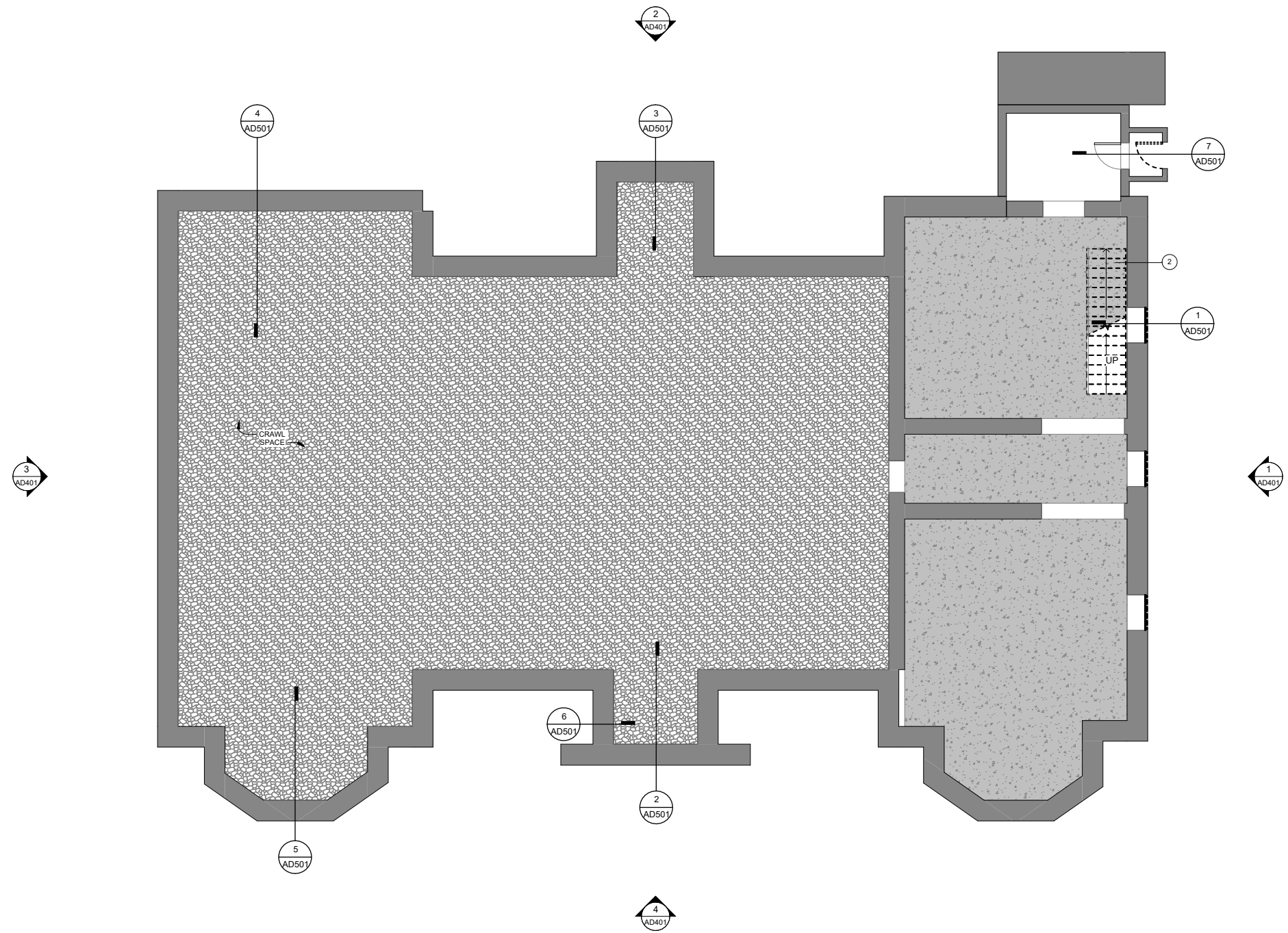
PHASE 1 WINDOW, DOOR, & EXTERIOR WALL UPGRADES

4 Merrymeeting Road
St. John's, NL

Issued for PERMIT AUGUST 16, 2024
Project # HWA 5340-05

DRAWING LIST

DWG #	Title
01-GENERAL	
A000	COVER SHEET
02 - DEMOLITION	
AD100	LEVEL 0 DEMOLITION PLAN
AD101	LEVEL 1 DEMOLITION PLAN
AD102	LEVEL 2 DEMOLITION PLAN
AD103	LEVEL 3 DEMOLITION PLAN
AD401	ELEVATIONS - DEMOLITION
AD501	BUILDING SECTIONS - DEMOLITION
03 - ARCHITECTURAL	
A100	LEVEL 0 PLAN
A101	LEVEL 1 PLAN
A102	LEVEL 2 PLAN
A103	LEVEL 3 PLAN
A401	ELEVATIONS
A501	BUILDING SECTIONS



1 LEVEL 0 DEMOLITION PLAN
AD100 1:75

DEMOLITION NOTES

- DEMOLITION AND REINSTATEMENT NOTES
- 1 EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK AND CUTTING, TRENCHING, AND PATCHING REQUIRED FOR THE EXECUTION OF THE WORK IN THIS CONTRACT.
 - 2 PERFORM DEMOLITION WORK SHOWN AND/OR REQUIRED TO COMPLETE THE WORK. DO NOT ASSUME DEMOLITION DRAWINGS SHOW THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
 - 3 PROVIDE CUTTING, TRENCHING, AND PATCHING REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT, INCLUDING CUTTING, TRENCHING, AND PATCHING REQUIRED BY MECHANICAL, ELECTRICAL, AND OTHER TRADES. REINSTATE AND/OR MAKE GOOD ALL EXISTING SURFACES AFFECTED BY THE WORK OF CUTTING, TRENCHING AND PATCHING AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 4 WHEREVER EXCESSIVE DEMOLITION OCCURS OR IF DAMAGE OCCURS TO ADJACENT SURFACES NOT INTENDED FOR DEMOLITION OR REMOVAL, REINSTATE ALL AFFECTED SURFACES AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING. FINISH ENTIRE SURFACES WHERE EXCESSIVE DAMAGE HAS OCCURRED, IN THE CASE OF WALLS REFINISH TO THE NEAREST CORNERS.
 - 5 FILL HOLES AND REPAIR THOSE SURFACES LEFT IN AN UNFINISHED STATE AFTER THE REMOVAL OF OBSOLETE MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING RECESSED OUTLET BOXES, PANELS, DUCTS, PIPES, AND CONDUIT. PREPARE SURFACE TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 6 PREPARE SURFACES AS NECESSARY TO RECEIVE NEW FINISHES SPECIFIED INCLUDING BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES AND ADHESIVES, AND GRINDING, PATCHING, AND LEVELING SURFACES.
 - 7 ALL WORK INTENDED TO MATCH EXISTING SHALL BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.

DEMOLITION LEGEND

- EXISTING TO REMAIN [Solid Grey Box]
- EXISTING TO BE DEMOLISHED [Dashed Box]
- NEW [White Box]

KEYNOTES - DEMOLITION

- 1 ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED
- 2 REMOVE LOOSE PAINT, LOOSE PARING, AND DETERIORATED MORTAR FROM EXTERIOR FACE OF EXTERIOR WALLS
- 3 REMOVE PAINT FROM STONE QUOINS AT WALL CORNERS AND WINDOWS

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 2N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

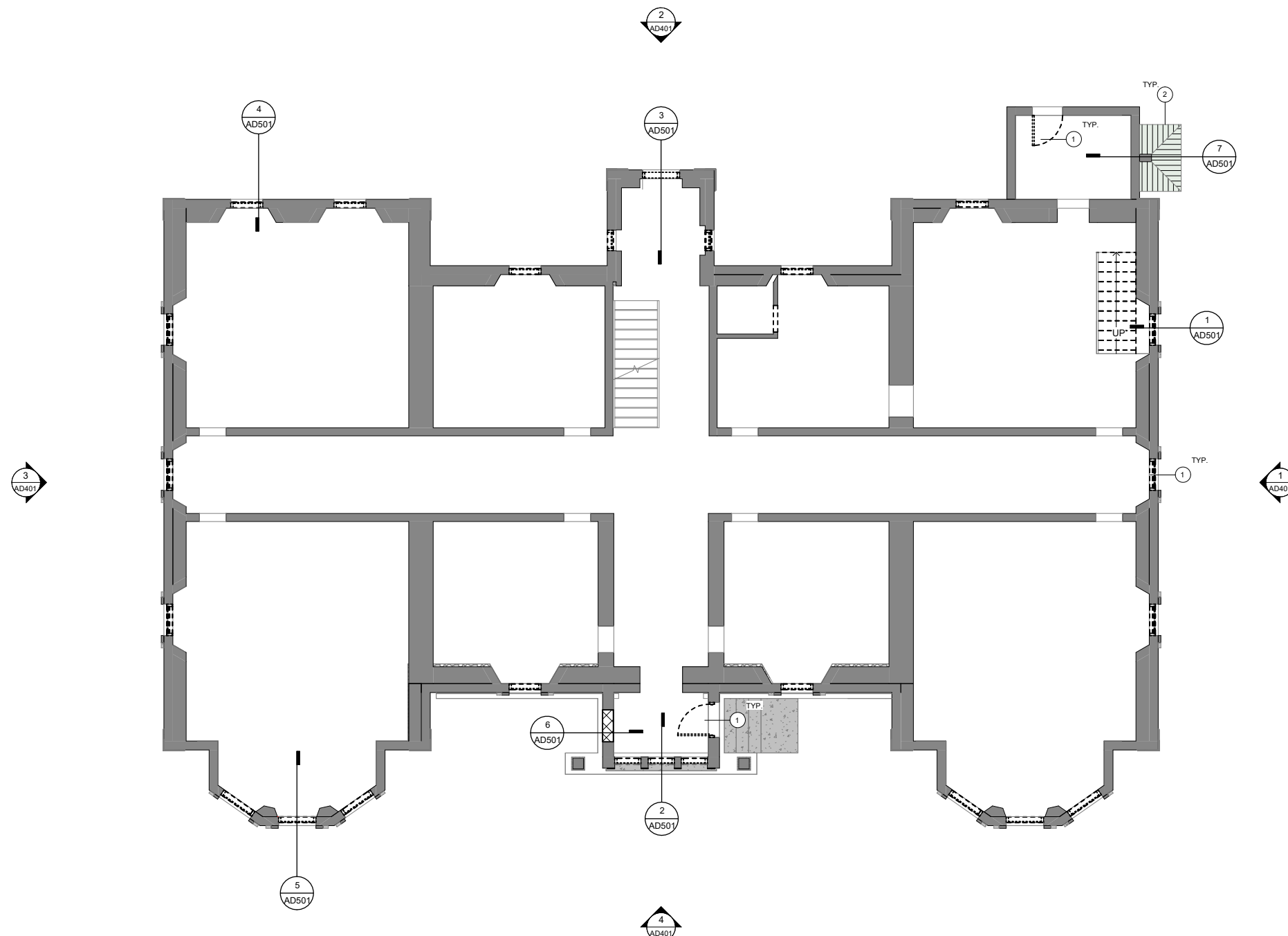
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 0 DEMOLITION PLAN

DRAWING NUMBER

AD100



1 LEVEL 1 DEMOLITION PLAN
AD101 1:75

DEMOLITION NOTES

- DEMOLITION AND REINSTATEMENT NOTES
- 1 EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK AND CUTTING, TRENCHING, AND PATCHING REQUIRED FOR THE EXECUTION OF THE WORK IN THIS CONTRACT.
 - 2 PERFORM DEMOLITION WORK SHOWN AND/OR REQUIRED TO COMPLETE THE WORK. DO NOT ASSUME DEMOLITION DRAWINGS SHOW THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
 - 3 PROVIDE CUTTING, TRENCHING, AND PATCHING REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT, INCLUDING CUTTING, TRENCHING, AND PATCHING REQUIRED BY MECHANICAL, ELECTRICAL, AND OTHER TRADES. REINSTATE AND/OR MAKE GOOD ALL EXISTING SURFACES AFFECTED BY THE WORK OF CUTTING, TRENCHING AND PATCHING AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 4 WHEREVER EXCESSIVE DEMOLITION OCCURS OR IF DAMAGE OCCURS TO ADJACENT SURFACES NOT INTENDED FOR DEMOLITION OR REMOVAL, REINSTATE ALL AFFECTED SURFACES AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING. FINISH ENTIRE SURFACES WHERE EXCESSIVE DAMAGE HAS OCCURRED, IN THE CASE OF WALLS REFINISH TO THE NEAREST CORNERS.
 - 5 FILL HOLES AND REPAIR THOSE SURFACES LEFT IN AN UNFINISHED STATE AFTER THE REMOVAL OF OBSOLETE MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING RECESSED OUTLET BOXES, PANELS, DUCTS, PIPES, AND CONDUIT. PREPARE SURFACE TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 6 PREPARE SURFACES AS NECESSARY TO RECEIVE NEW FINISHES SPECIFIED INCLUDING BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES AND ADHESIVES, AND GRINDING, PATCHING, AND LEVELING SURFACES.
 - 7 ALL WORK INTENDED TO MATCH EXISTING SHALL BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.

DEMOLITION LEGEND

- EXISTING TO REMAIN ———
- EXISTING TO BE DEMOLISHED - - - -
- NEW = = = =

KEYNOTES - DEMOLITION

- 1 ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED
- 2 REMOVE LOOSE PAINT, LOOSE PARING, AND DETERIORATED MORTAR FROM EXTERIOR FACE OF EXTERIOR WALLS
- 3 REMOVE PAINT FROM STONE QUIONS AT WALL CORNERS AND WINDOWS

ARCHITECTURAL CONSULTANT



PROFESSIONAL STAMP AND PERMIT



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF
PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

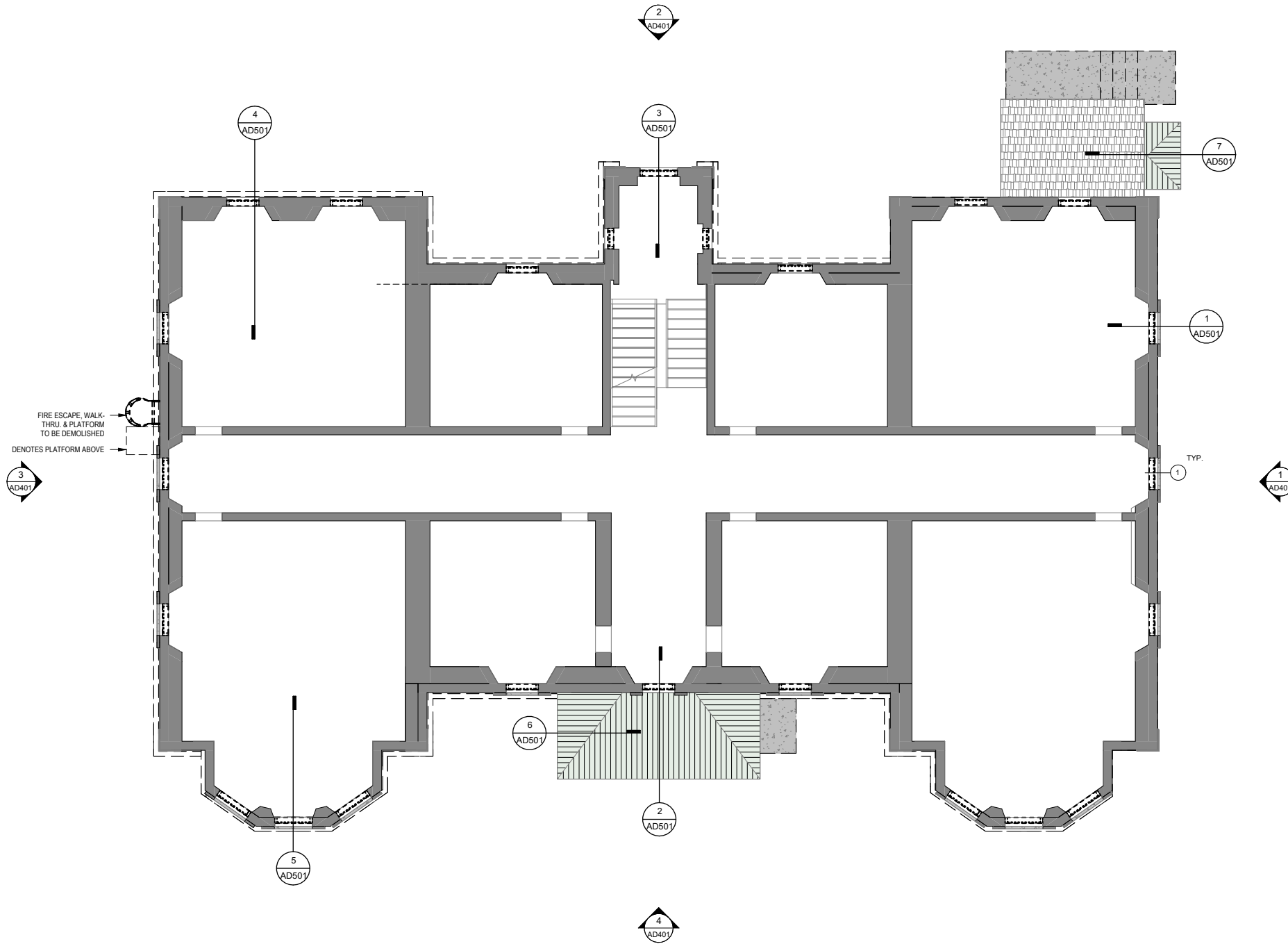
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 1 DEMOLITION PLAN

DRAWING NUMBER

AD101



FIRE ESCAPE, WALK-THRU, & PLATFORM TO BE DEMOLISHED
DENOTES PLATFORM ABOVE

1 LEVEL 2 DEMOLITION PLAN
AD102 1:75

DEMOLITION NOTES

- DEMOLITION AND REINSTATEMENT NOTES
- 1 EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK AND CUTTING, TRENCHING, AND PATCHING REQUIRED FOR THE EXECUTION OF THE WORK IN THIS CONTRACT.
 - 2 PERFORM DEMOLITION WORK SHOWN AND/OR REQUIRED TO COMPLETE THE WORK. DO NOT ASSUME DEMOLITION DRAWINGS SHOW THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
 - 3 PROVIDE CUTTING, TRENCHING, AND PATCHING REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT, INCLUDING CUTTING, TRENCHING, AND PATCHING REQUIRED BY MECHANICAL, ELECTRICAL, AND OTHER TRADES. REINSTATE AND/OR MAKE GOOD ALL EXISTING SURFACES AFFECTED BY THE WORK OF CUTTING, TRENCHING AND PATCHING AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 4 WHEREVER EXCESSIVE DEMOLITION OCCURS OR IF DAMAGE OCCURS TO ADJACENT SURFACES NOT INTENDED FOR DEMOLITION OR REMOVAL, REINSTATE ALL AFFECTED SURFACES AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING. FINISH ENTIRE SURFACES WHERE EXCESSIVE DAMAGE HAS OCCURRED, IN THE CASE OF WALLS REFINISH TO THE NEAREST CORNERS.
 - 5 FILL HOLES AND REPAIR THOSE SURFACES LEFT IN AN UNFINISHED STATE AFTER THE REMOVAL OF OBSOLETE MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING RECESSED OUTLET BOXES, PANELS, DUCTS, PIPES, AND CONDUIT. PREPARE SURFACE TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 6 PREPARE SURFACES AS NECESSARY TO RECEIVE NEW FINISHES SPECIFIED INCLUDING BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES AND ADHESIVES, AND GRINDING, PATCHING, AND LEVELING SURFACES.
 - 7 ALL WORK INTENDED TO MATCH EXISTING SHALL BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW

KEYNOTES - DEMOLITION

- 1 ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED
- 2 REMOVE LOOSE PAINT, LOOSE PARING, AND DETERIORATED MORTAR FROM EXTERIOR FACE OF EXTERIOR WALLS
- 3 REMOVE PAINT FROM STONE QUOINS AT WALL CORNERS AND WINDOWS

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 2N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

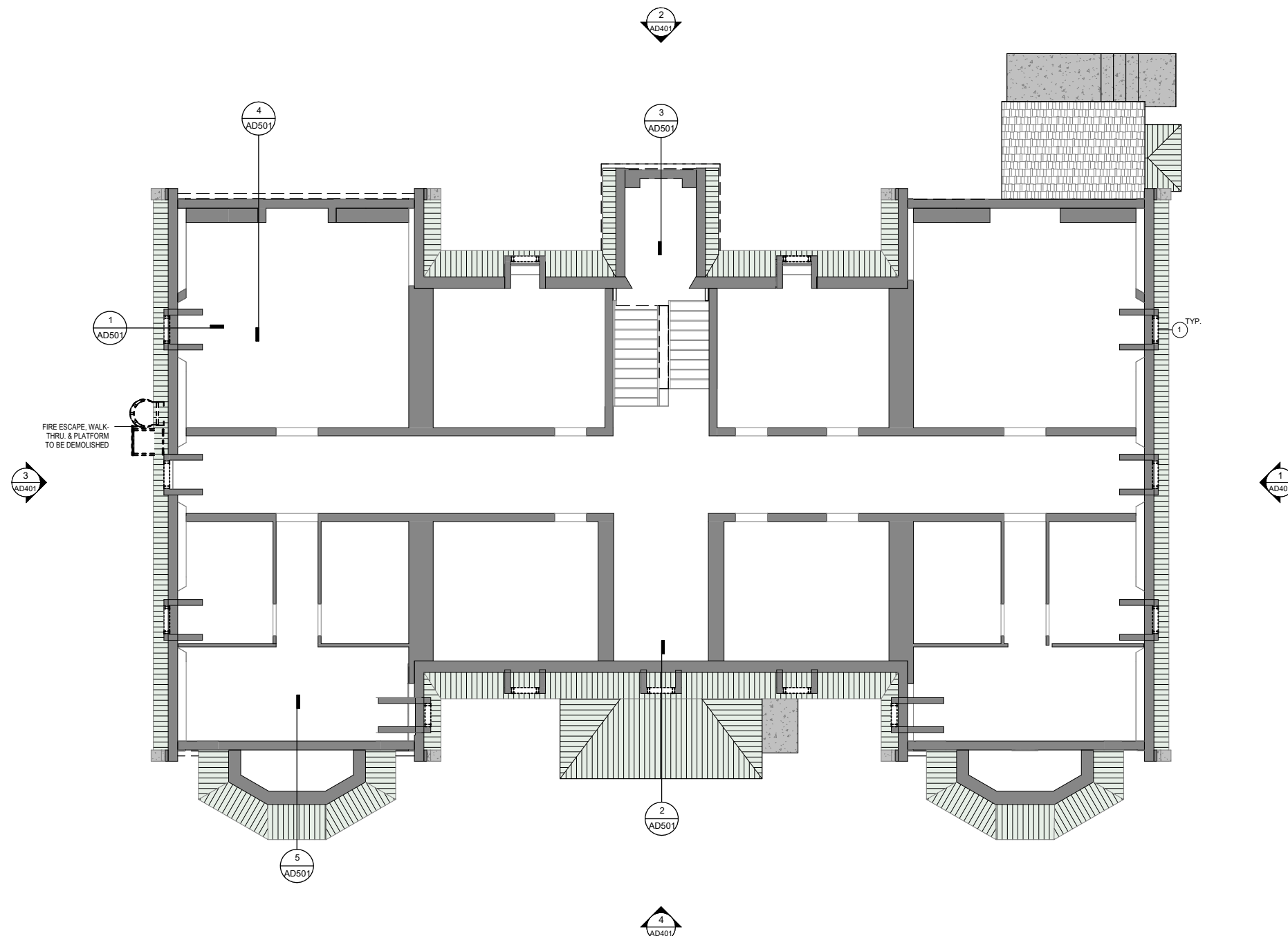
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 2 DEMOLITION PLAN

DRAWING NUMBER

AD102



1 LEVEL 3 DEMOLITION PLAN
AD103 1:75

DEMOLITION NOTES

- DEMOLITION AND REINSTATEMENT NOTES
- 1 EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK AND CUTTING, TRENCHING, AND PATCHING REQUIRED FOR THE EXECUTION OF THE WORK IN THIS CONTRACT.
 - 2 PERFORM DEMOLITION WORK SHOWN AND/OR REQUIRED TO COMPLETE THE WORK. DO NOT ASSUME DEMOLITION DRAWINGS SHOW THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
 - 3 PROVIDE CUTTING, TRENCHING, AND PATCHING REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT. INCLUDING CUTTING, TRENCHING, AND PATCHING REQUIRED BY MECHANICAL, ELECTRICAL, AND OTHER TRADES. REINSTATE AND/OR MAKE GOOD ALL EXISTING SURFACES AFFECTED BY THE WORK OF CUTTING, TRENCHING AND PATCHING AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 4 WHEREVER EXCESSIVE DEMOLITION OCCURS OR IF DAMAGE OCCURS TO ADJACENT SURFACES NOT INTENDED FOR DEMOLITION OR REMOVAL, REINSTATE ALL AFFECTED SURFACES AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING. FINISH ENTIRE SURFACES WHERE EXCESSIVE DAMAGE HAS OCCURRED, IN THE CASE OF WALLS REFINISH TO THE NEAREST CORNERS.
 - 5 FILL HOLES AND REPAIR THOSE SURFACES LEFT IN AN UNFINISHED STATE AFTER THE REMOVAL OF OBSOLETE MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING RECESSED OUTLET BOXES, PANELS, DUCTS, PIPES, AND CONDUIT. PREPARE SURFACE TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
 - 6 PREPARE SURFACES AS NECESSARY TO RECEIVE NEW FINISHES SPECIFIED INCLUDING BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES AND ADHESIVES, AND GRINDING, PATCHING, AND LEVELING SURFACES.
 - 7 ALL WORK INTENDED TO MATCH EXISTING SHALL BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW

KEYNOTES - DEMOLITION

- 1 ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED
- 2 REMOVE LOOSE PAINT, LOOSE PARING, AND DETERIORATED MORTAR FROM EXTERIOR FACE OF EXTERIOR WALLS
- 3 REMOVE PAINT FROM STONE QUOINS AT WALL CORNERS AND WINDOWS

ARCHITECTURAL CONSULTANT



PROFESSIONAL STAMP AND PERMIT



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

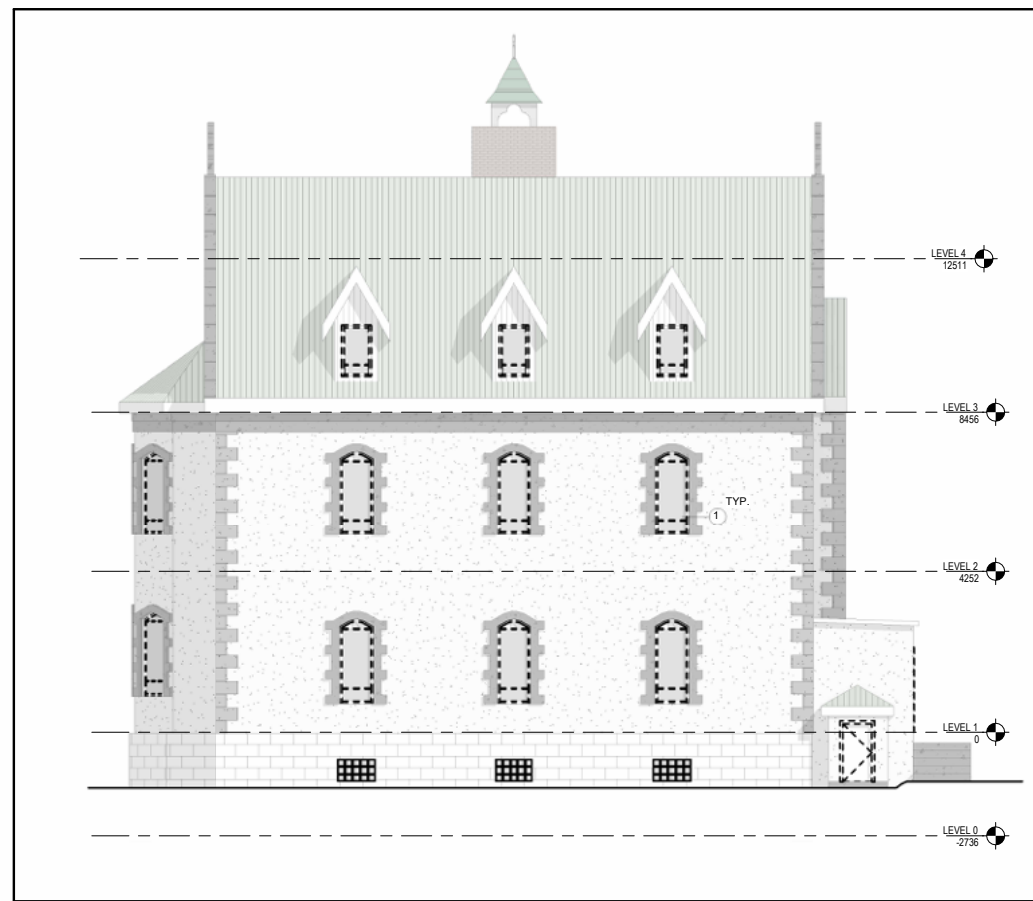
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 3 DEMOLITION PLAN

DRAWING NUMBER

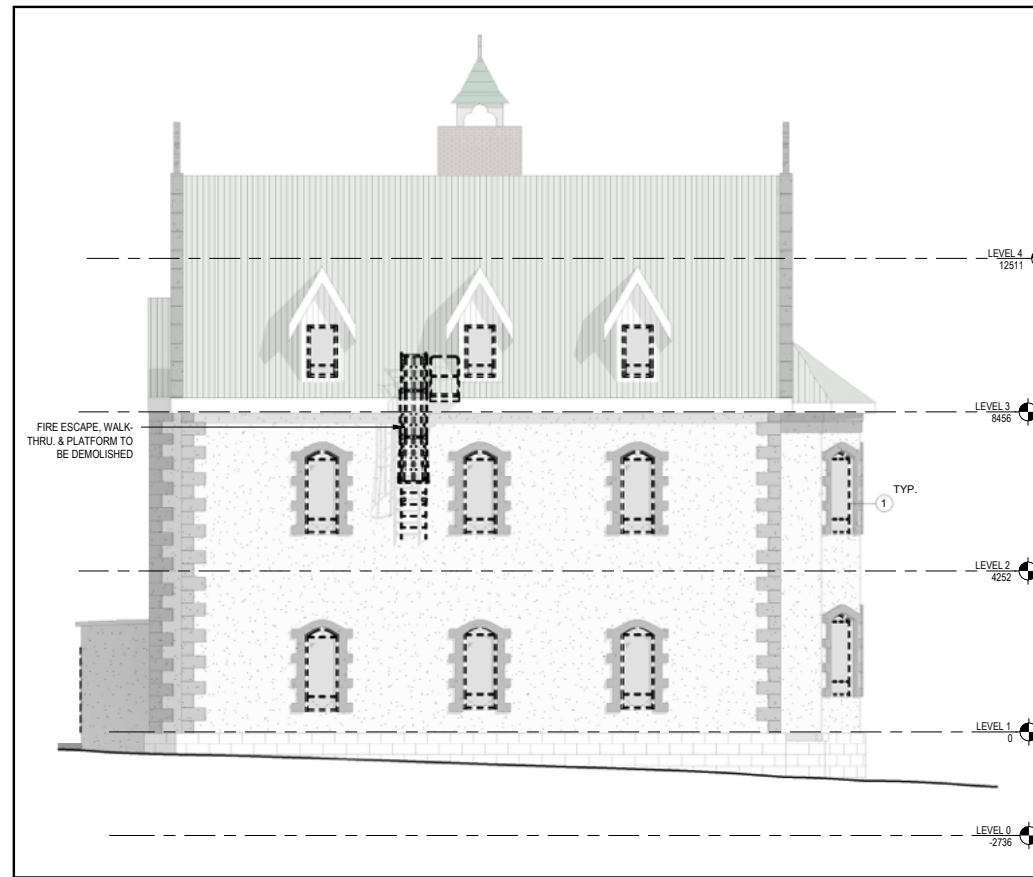
AD103



1 ELEVATION - EAST DEMOLITION
AD401 1:100



2 ELEVATION - NORTH DEMOLITION
AD401 1:100



3 ELEVATION - WEST DEMOLITION
AD401 1:100



4 ELEVATION - FRONT DEMOLITION
AD401 1:100

DEMOLITION NOTES

DEMOLITION AND REINSTATEMENT NOTES

- 1 EXAMINE ALL CONTRACT DOCUMENTS AND VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK AND CUTTING, TRENCHING, AND PATCHING REQUIRED FOR THE EXECUTION OF THE WORK IN THIS CONTRACT.
- 2 PERFORM DEMOLITION WORK SHOWN AND/OR REQUIRED TO COMPLETE THE WORK. DO NOT ASSUME DEMOLITION DRAWINGS SHOW THE FULL EXTENT OF DEMOLITION WORK REQUIRED.
- 3 PROVIDE CUTTING, TRENCHING, AND PATCHING REQUIRED TO EXECUTE THE WORK OF THIS CONTRACT, INCLUDING CUTTING, TRENCHING, AND PATCHING REQUIRED BY MECHANICAL, ELECTRICAL, AND OTHER TRADES. REINSTATE AND/OR MAKE GOOD ALL EXISTING SURFACES AFFECTED BY THE WORK OF CUTTING, TRENCHING AND PATCHING AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
- 4 WHEREVER EXCESSIVE DEMOLITION OCCURS OR IF DAMAGE OCCURS TO ADJACENT SURFACES NOT INTENDED FOR DEMOLITION OR REMOVAL, REINSTATE ALL AFFECTED SURFACES AND PREPARE THEM TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING. FINISH ENTIRE SURFACES WHERE EXCESSIVE DAMAGE HAS OCCURRED, IN THE CASE OF WALLS REFINISH TO THE NEAREST CORNERS.
- 5 FILL HOLES AND REPAIR THOSE SURFACES LEFT IN AN UNFINISHED STATE AFTER THE REMOVAL OF OBSOLETE MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING RECESSED OUTLET BOXES, PANELS, DUCTS, PIPES, AND CONDUIT. PREPARE SURFACE TO RECEIVE NEW FINISHES, IF SPECIFIED, OTHERWISE REFINISH TO MATCH EXISTING.
- 6 PREPARE SURFACES AS NECESSARY TO RECEIVE NEW FINISHES SPECIFIED, INCLUDING BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES AND ADHESIVES, AND GRINDING, PATCHING, AND LEVELING SURFACES.
- 7 ALL WORK INTENDED TO MATCH EXISTING SHALL BE PERFORMED TO THE SATISFACTION OF THE ENGINEER.

DEMOLITION LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW

KEYNOTES - DEMOLITION

- 1 ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED
- 2 REMOVE LOOSE PAINT, LOOSE PARING, AND DETERIORATED MORTAR FROM EXTERIOR FACE OF EXTERIOR WALLS
- 3 REMOVE PAINT FROM STONE QUOINS AT WALL CORNERS AND WINDOWS

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 2Y2
MARK WALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

- 1 DO NOT SCALE FROM THIS DRAWING.
- 2 UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
- 3 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
- 4 CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
- 5 DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

**PHASE 1 EMERALD PARK /
MOUNT ST. FRANCIS WINDOW,
DOOR, & EXTERIOR WALL
UPGRADES**

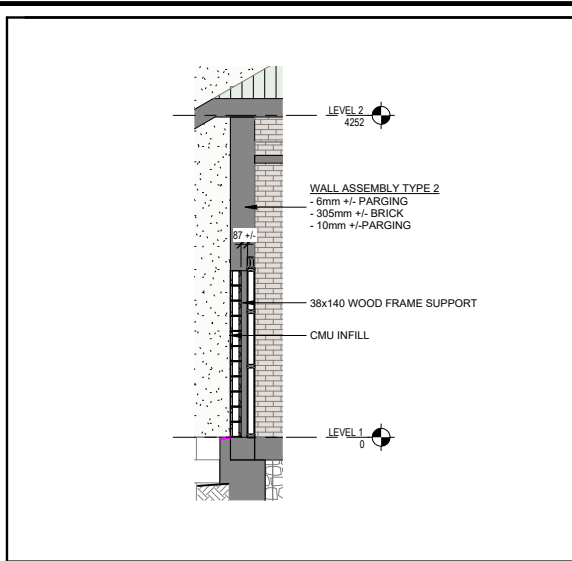
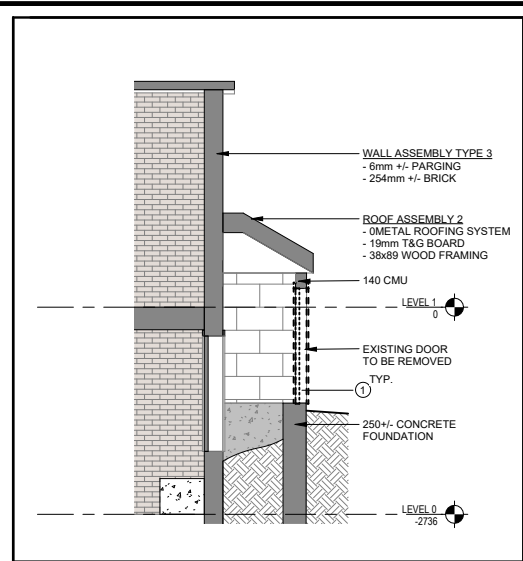
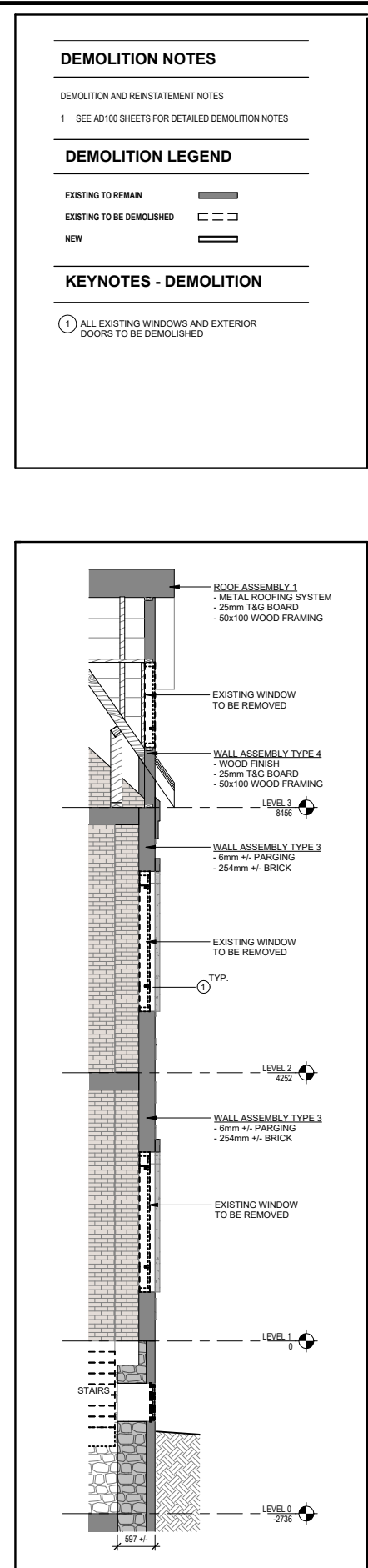
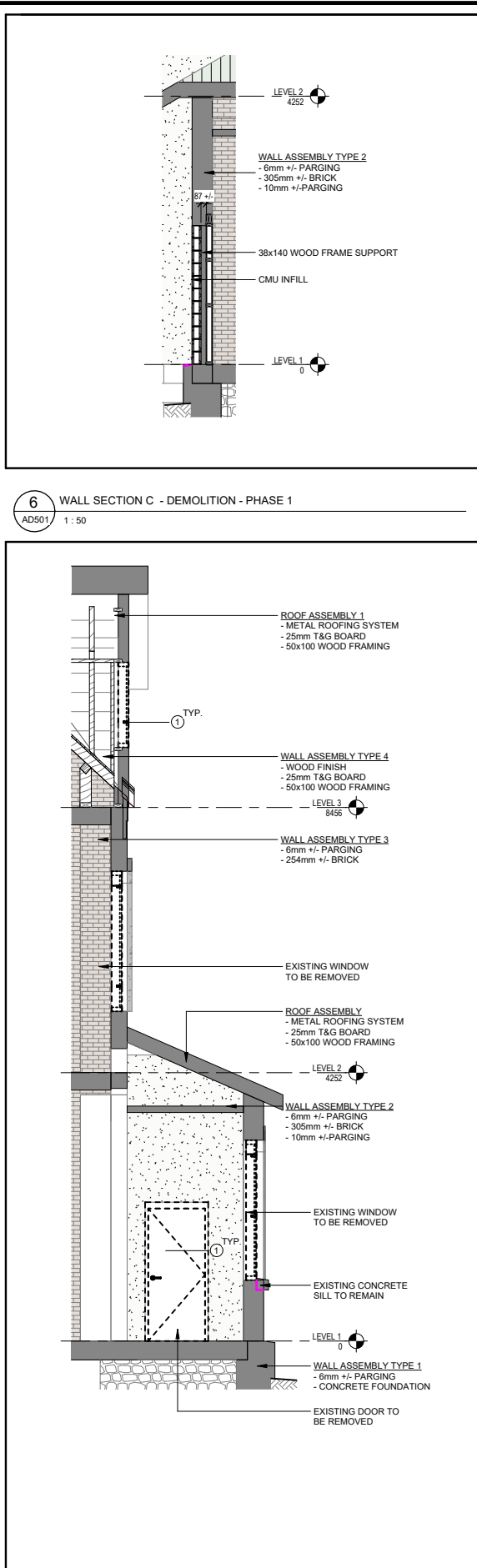
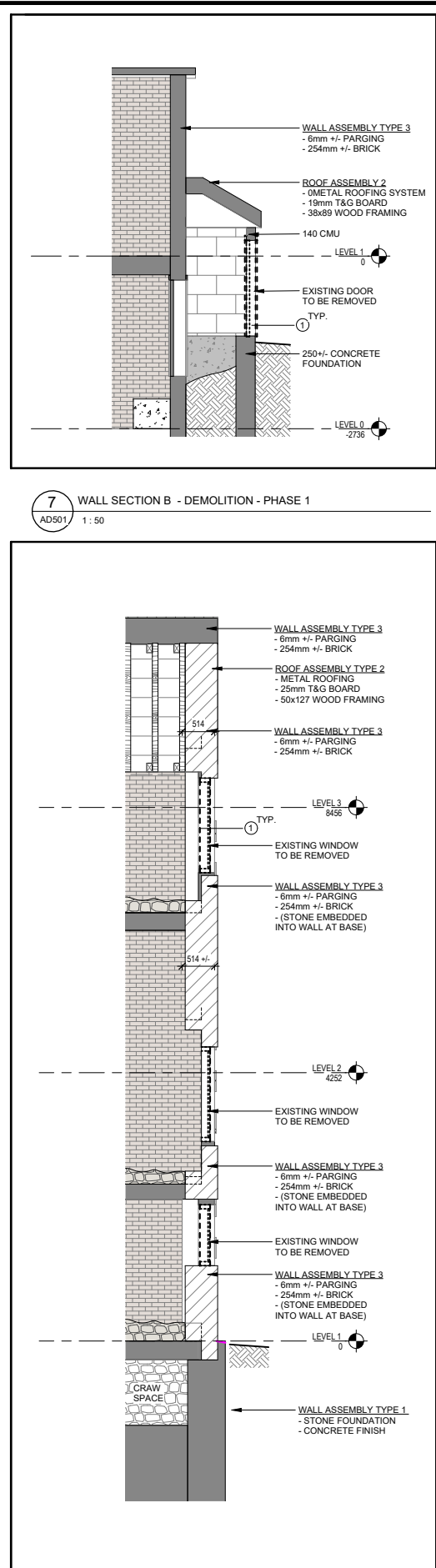
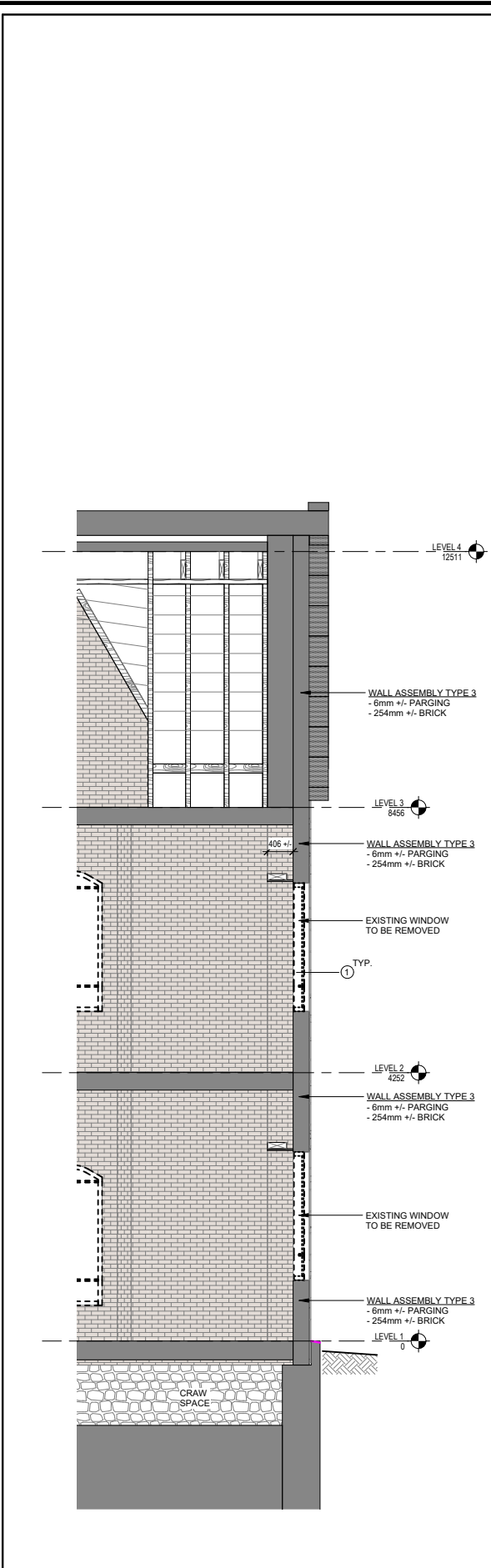
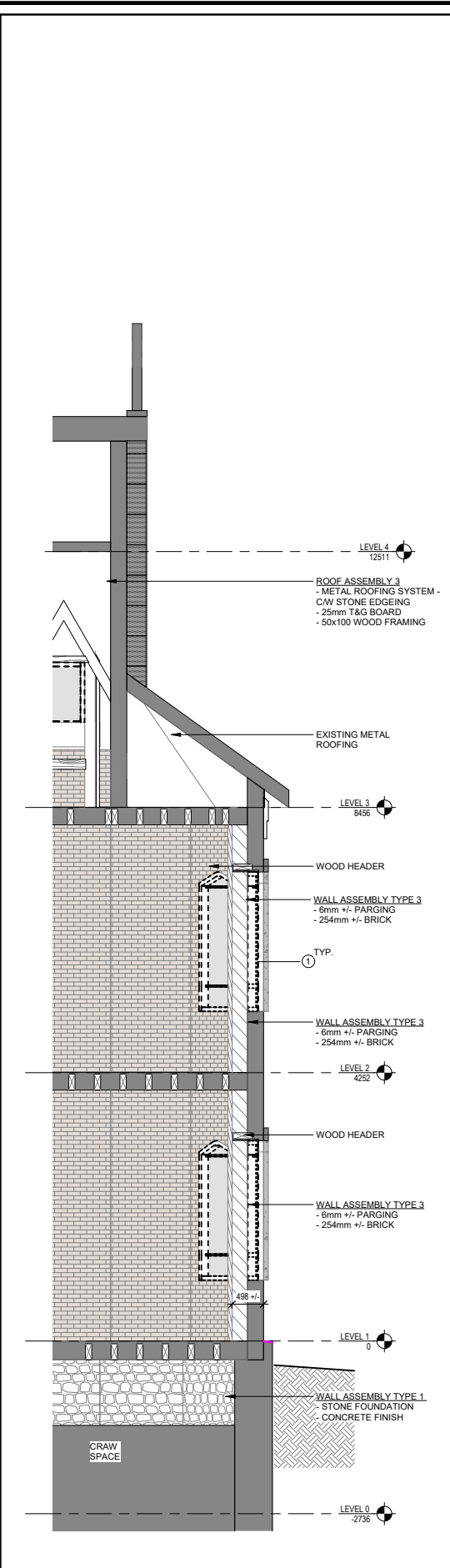
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

ELEVATIONS - DEMOLITION

DRAWING NUMBER

AD401



DEMOLITION NOTES

DEMOLITION AND REINSTATEMENT NOTES

1 SEE AD100 SHEETS FOR DETAILED DEMOLITION NOTES

DEMOLITION LEGEND

EXISTING TO REMAIN [Solid Line]

EXISTING TO BE DEMOLISHED [Dashed Line]

NEW [Double Line]

KEYNOTES - DEMOLITION

① ALL EXISTING WINDOWS AND EXTERIOR DOORS TO BE DEMOLISHED

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 2N2

MARK WHELEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

NEWFOUNDLAND AND LABRADOR
MEMBER
Mark G. Whalen, P.L.A.A.
Expires Dec 31, 2024
Reg. No. 240816
LICENSED TO PRACTICE
IN THE PROVINCE OF ARCHITECTS

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #:
HWA 5340-05

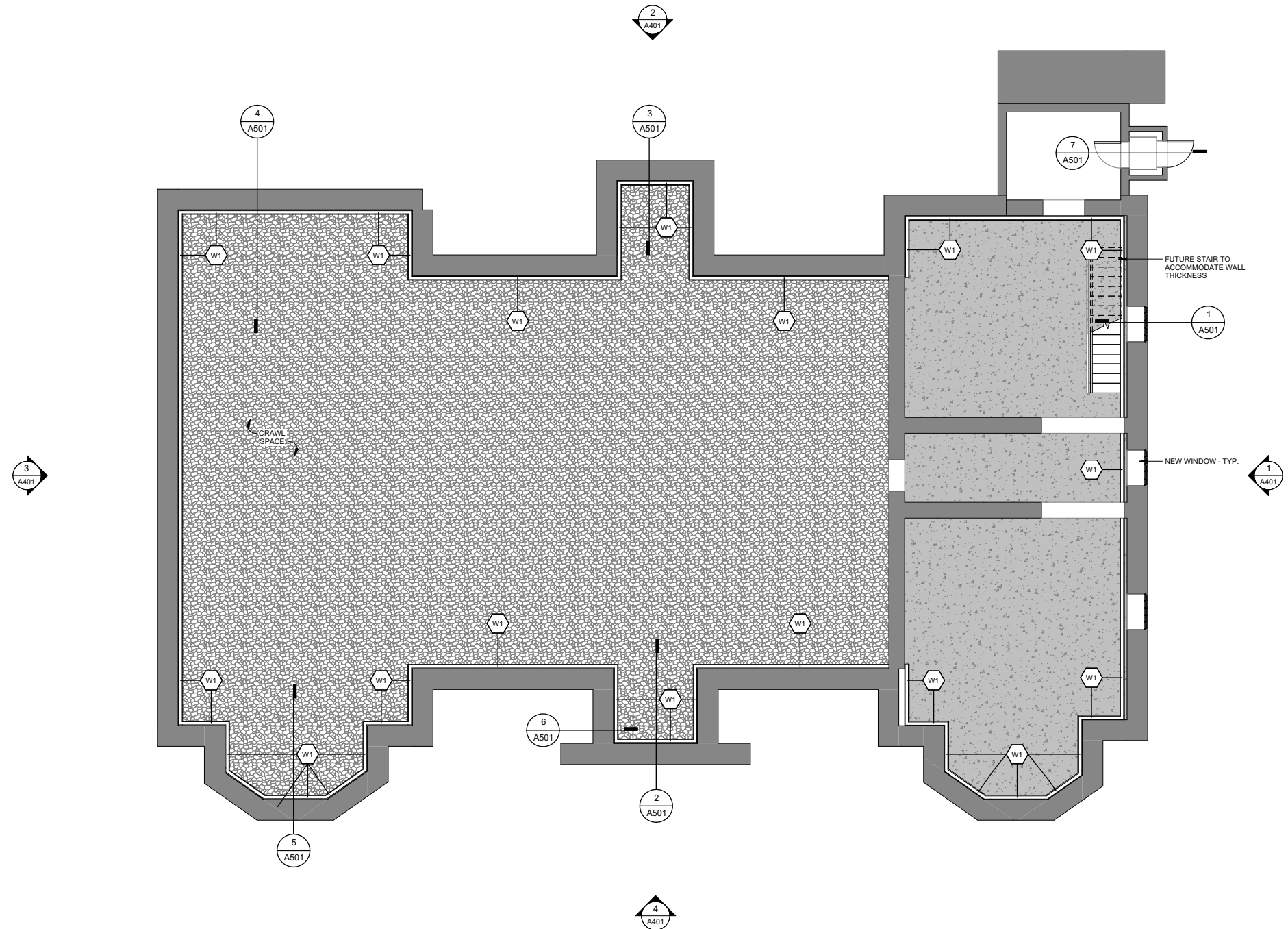
1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE
PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

4 Merrymeeting Road
St. John's, NL

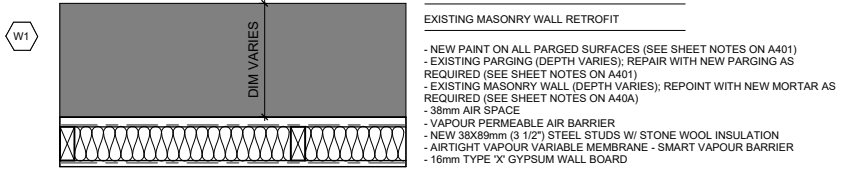
DRAWING TITLE
BUILDING SECTIONS - DEMOLITION

DRAWING NUMBER
AD501



1 LEVEL 0 PLAN
A100 1:75

WALL ASSEMBLIES



SHEET NOTES

- NOTES:
1. NEW ALUMINUM FRAMED CASEMENT WINDOWS TO FIT EXISTING ROUGH OPENINGS. TO FEATURE HORIZONTAL MULLION AT HALF HEIGHT POINT. CONTRACTOR TO CONFIRM SIZE AND TYPE.
 2. NEW EXTERIOR DOORS TO BE OUTSWING WITH PANIC HARDWARE. MAIN ENTRY DOOR TO INCLUDE POWER DOOR OPENER. CONTRACTOR TO CONFIRM SIZE AND TYPE.

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- NEW

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 3N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 0 PLAN

DRAWING NUMBER




A100

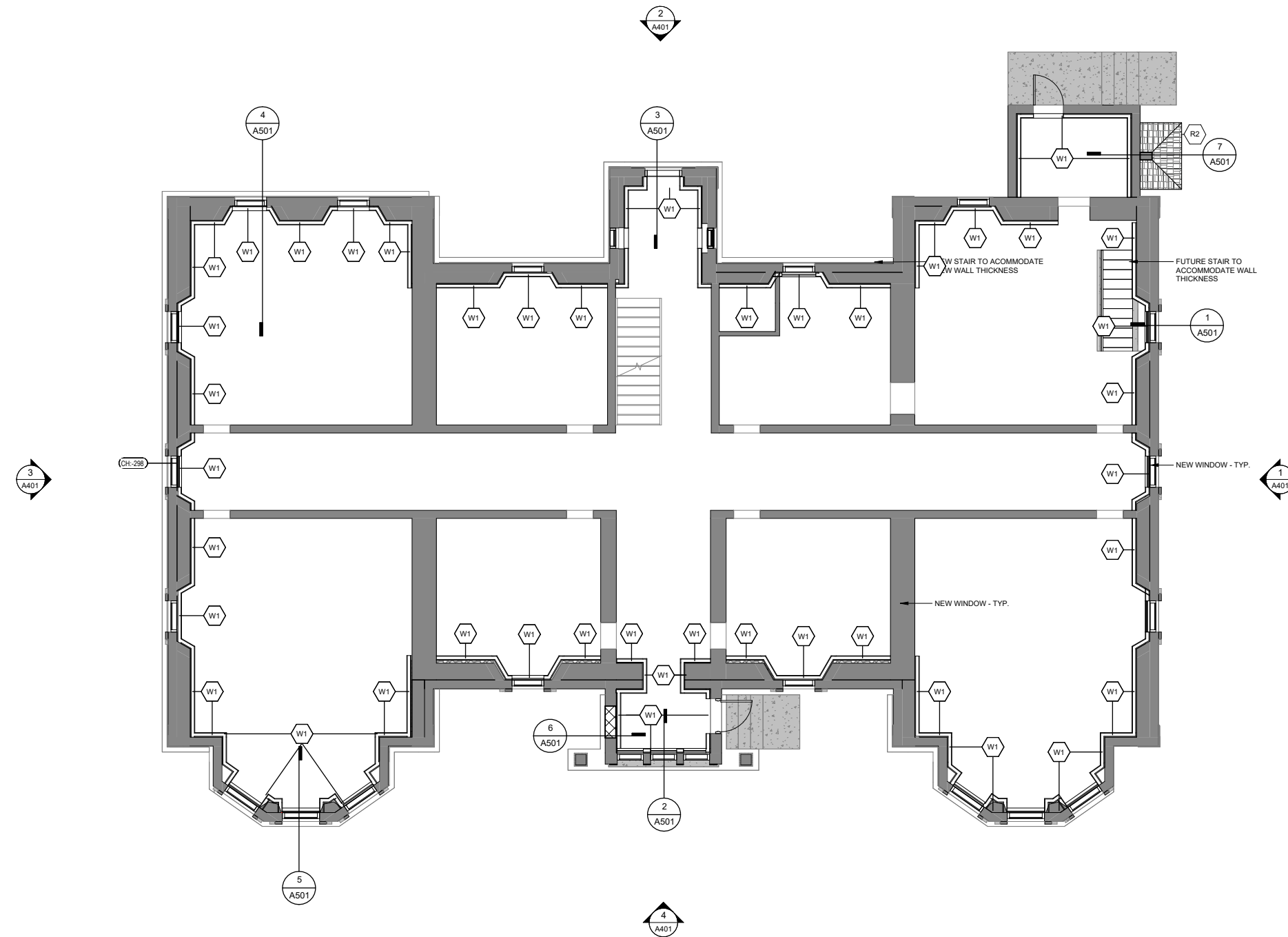


SHEET NOTES

- NOTES:
 1. NEW ALUMINUM FRAMED CASEMENT WINDOWS TO FIT EXISTING ROUGH OPENINGS. TO FEATURE HORIZONTAL MULLION AT HALF HEIGHT POINT. CONTRACTOR TO CONFIRM SIZE AND TYPE.
 2. NEW EXTERIOR DOORS TO BE OUTSWING WITH PANIC HARDWARE. MAIN ENTRY DOOR TO INCLUDE POWER DOOR OPENER. CONTRACTOR TO CONFIRM SIZE AND TYPE.

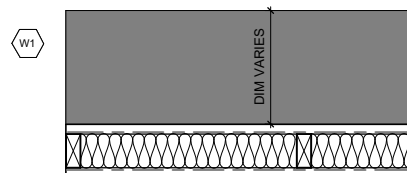
FLOOR PLAN LEGEND

- EXISTING TO REMAIN 
 EXISTING TO BE DEMOLISHED 
 NEW 



1 LEVEL 1 PLAN
A101 1:75

WALL ASSEMBLIES



EXISTING MASONRY WALL RETROFIT

- NEW PAINT ON ALL PARGED SURFACES (SEE SHEET NOTES ON A401)
- EXISTING PARGING (DEPTH VARIES); REPAIR WITH NEW PARGING AS REQUIRED (SEE SHEET NOTES ON A401)
- EXISTING MASONRY WALL (DEPTH VARIES); REPOINT WITH NEW MORTAR AS REQUIRED (SEE SHEET NOTES ON A40A)
- 38mm AIR SPACE
- VAPOUR PERMEABLE AIR BARRIER
- NEW 38x89mm (3 1/2") STEEL STUDS W/ STONE WOOL INSULATION
- AIRTIGHT VAPOUR VARIABLE MEMBRANE - SMART VAPOUR BARRIER
- 16mm TYPE 'X' GYPSUM WALL BOARD

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 1 PLAN

DRAWING NUMBER




A101

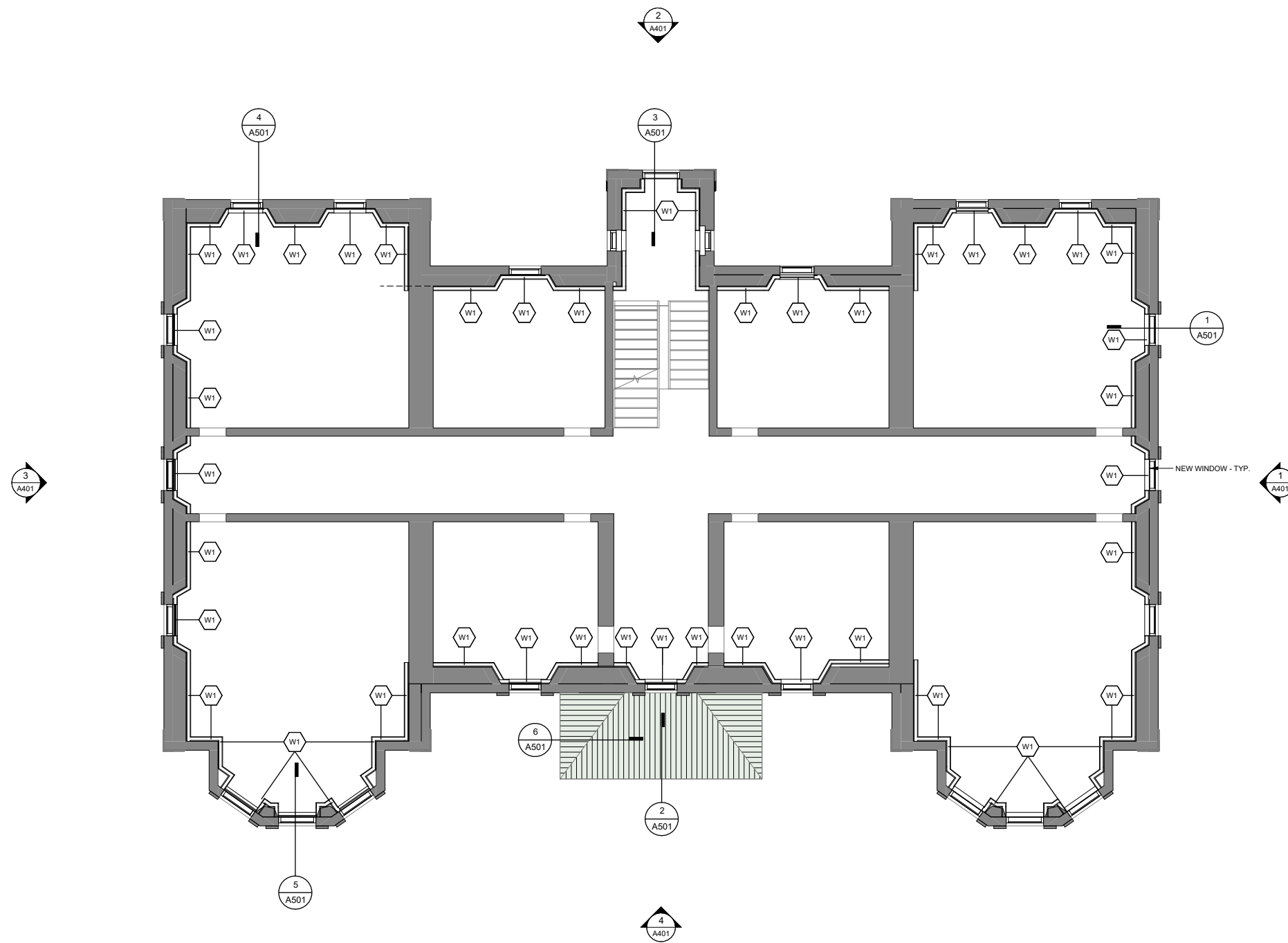


SHEET NOTES

- NOTES:
 1. NEW ALUMINUM FRAMED CASEMENT WINDOWS TO FIT EXISTING ROUGH OPENINGS. TO FEATURE HORIZONTAL MULLION AT HALF HEIGHT POINT. CONTRACTOR TO CONFIRM SIZE AND TYPE.
 2. NEW EXTERIOR DOORS TO BE OUTSWING WITH PANIC HARDWARE. MAIN ENTRY DOOR TO INCLUDE POWER DOOR OPENER. CONTRACTOR TO CONFIRM SIZE AND TYPE.

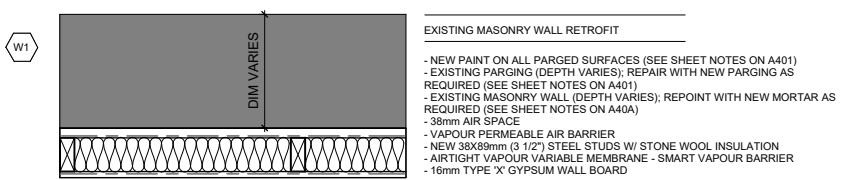
FLOOR PLAN LEGEND

- EXISTING TO REMAIN 
 EXISTING TO BE DEMOLISHED 
 NEW 



1 LEVEL 2 PLAN
A102 1:75

WALL ASSEMBLIES



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
 2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
 4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
 5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

LEVEL 2 PLAN

DRAWING NUMBER

A102

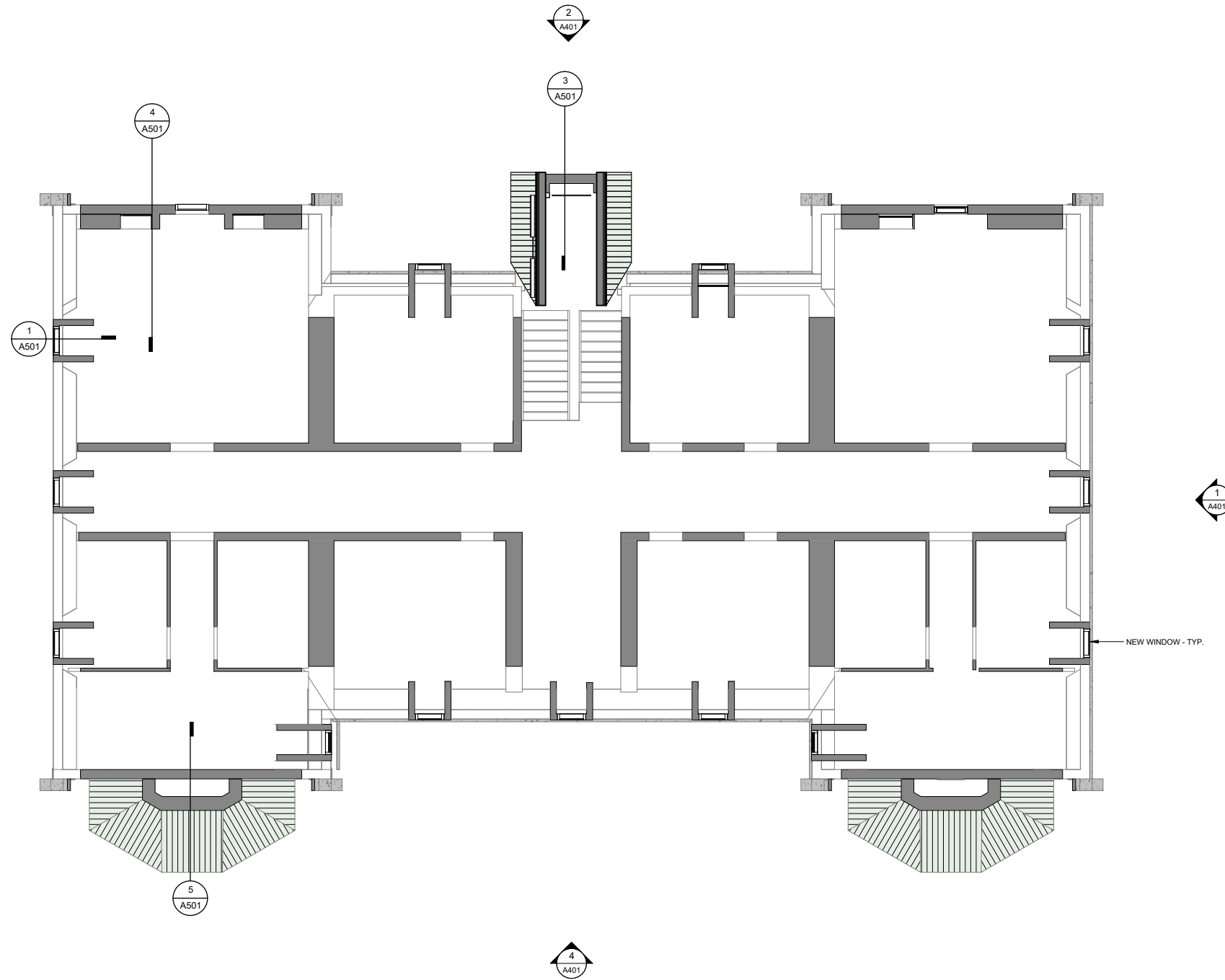


SHEET NOTES

- NOTES:
1. NEW ALUMINUM FRAMED CASEMENT WINDOWS TO FIT EXISTING ROUGH OPENINGS. TO FEATURE HORIZONTAL MULLION AT HALF HEIGHT POINT. CONTRACTOR TO CONFIRM SIZE AND TYPE.
2. NEW EXTERIOR DOORS TO BE OUTSWING WITH PANIC HARDWARE. MAIN ENTRY DOOR TO INCLUDE POWER DOOR OPENER. CONTRACTOR TO CONFIRM SIZE AND TYPE.

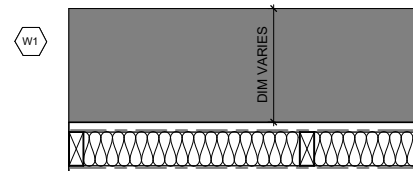
FLOOR PLAN LEGEND

- EXISTING TO REMAIN ———
EXISTING TO BE DEMOLISHED - - - -
NEW = = = =



1 LEVEL 3 PLAN
A103 1:75

WALL ASSEMBLIES



EXISTING MASONRY WALL RETROFIT

- NEW PAINT ON ALL PARGED SURFACES (SEE SHEET NOTES ON A401)
- EXISTING PARGING (DEPTH VARIES); REPAIR WITH NEW PARGING AS REQUIRED (SEE SHEET NOTES ON A401)
- EXISTING MASONRY WALL (DEPTH VARIES); REPOINT WITH NEW MORTAR AS REQUIRED (SEE SHEET NOTES ON A40A)
- 38mm AIR SPACE
- VAPOUR PERMEABLE AIR BARRIER
- NEW 38x89mm (3 1/2") STEEL STUDS W/ STONE WOOL INSULATION
- AIRTIGHT VAPOUR VARIABLE MEMBRANE - SMART VAPOUR BARRIER
- 16mm TYPE 'X' GYPSUM WALL BOARD

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

- DO NOT SCALE FROM THIS DRAWING.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
- CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
- DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

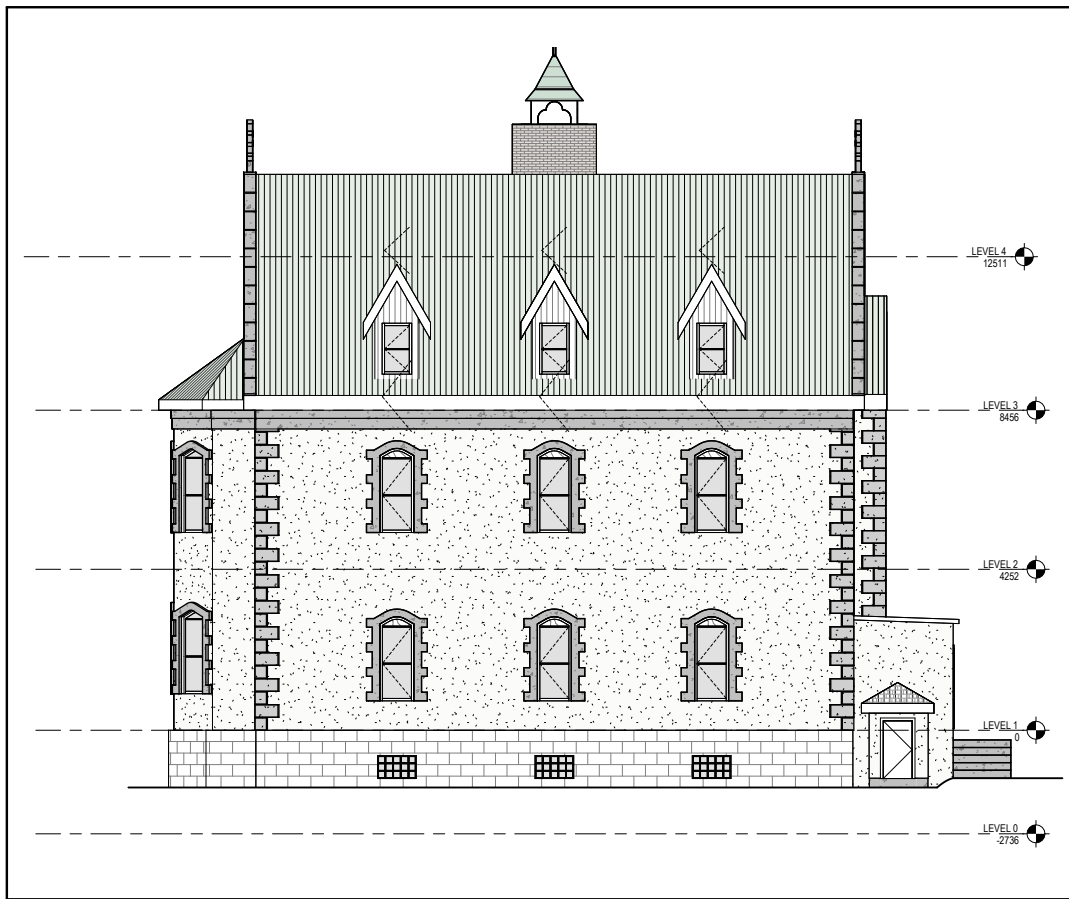
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

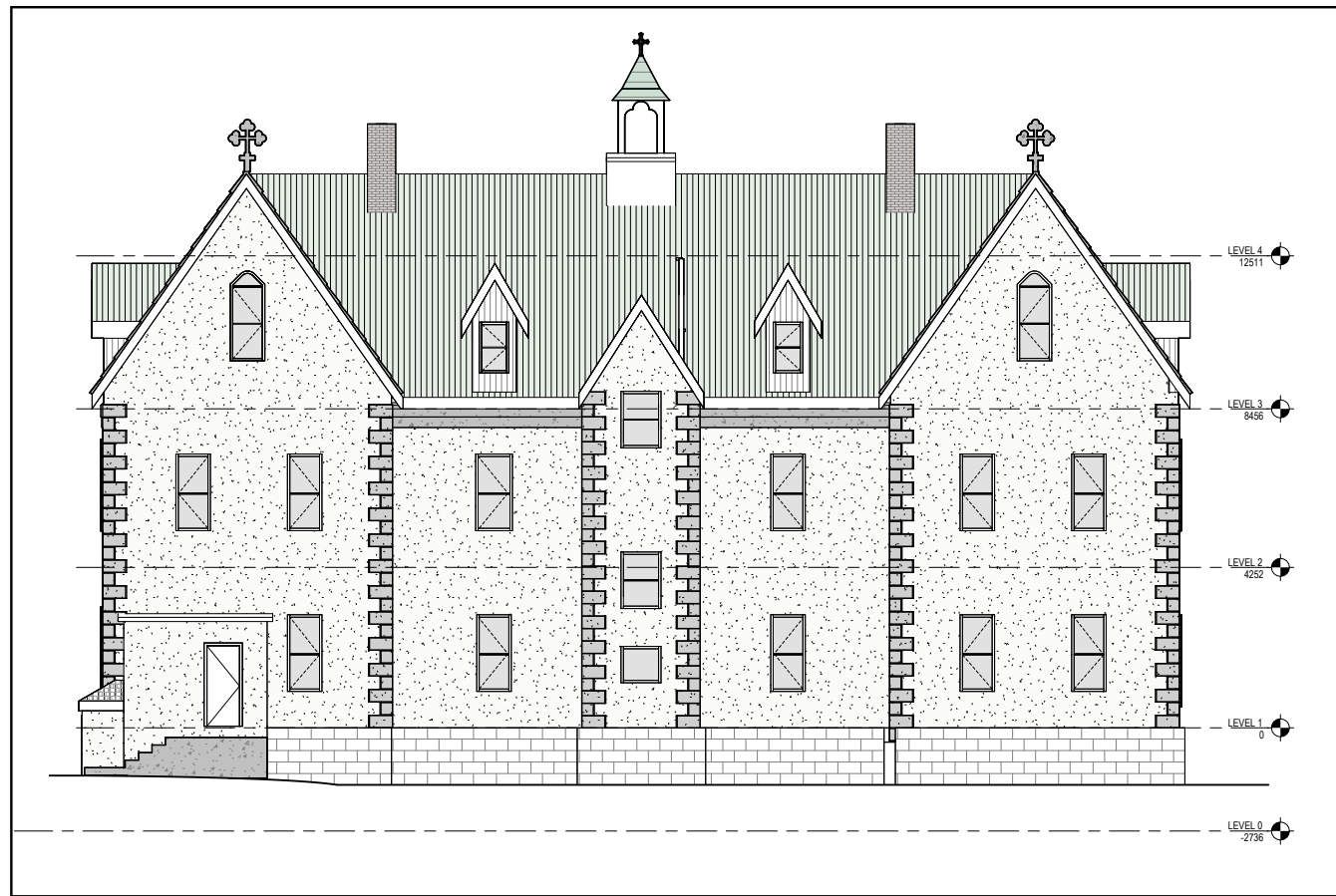
LEVEL 3 PLAN

DRAWING NUMBER

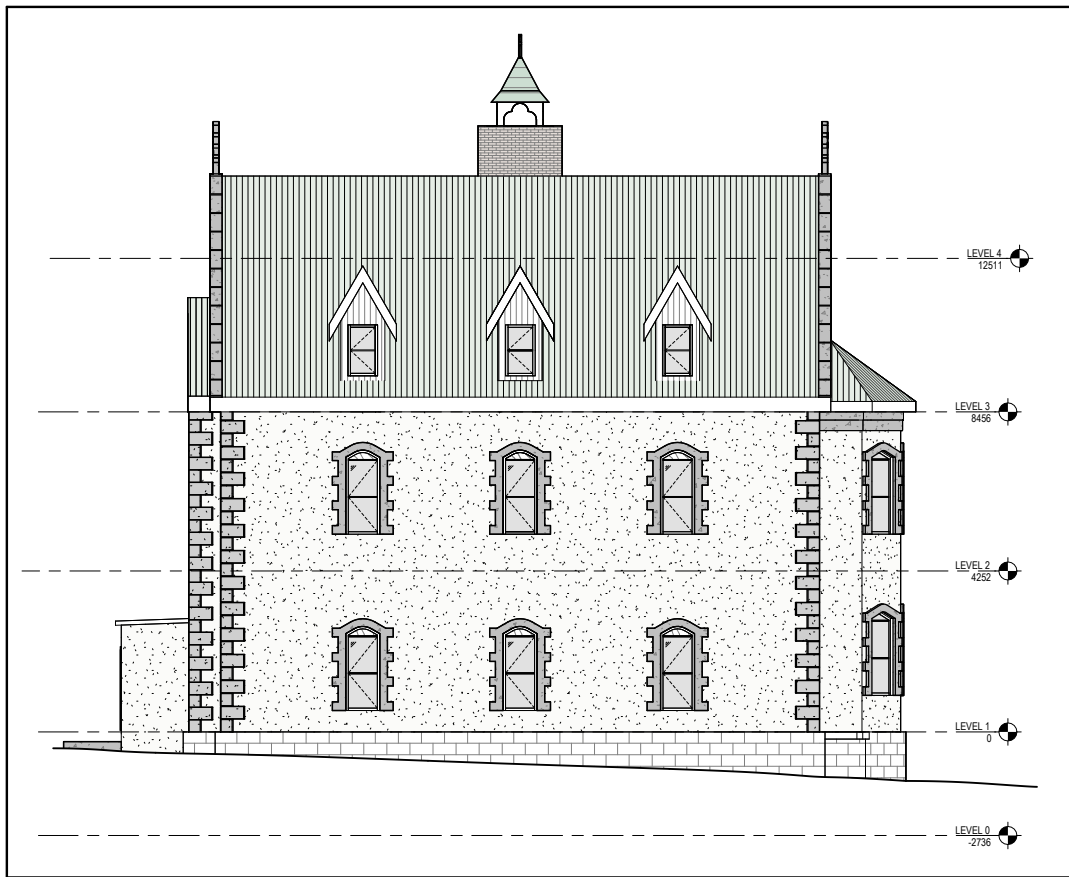
A103



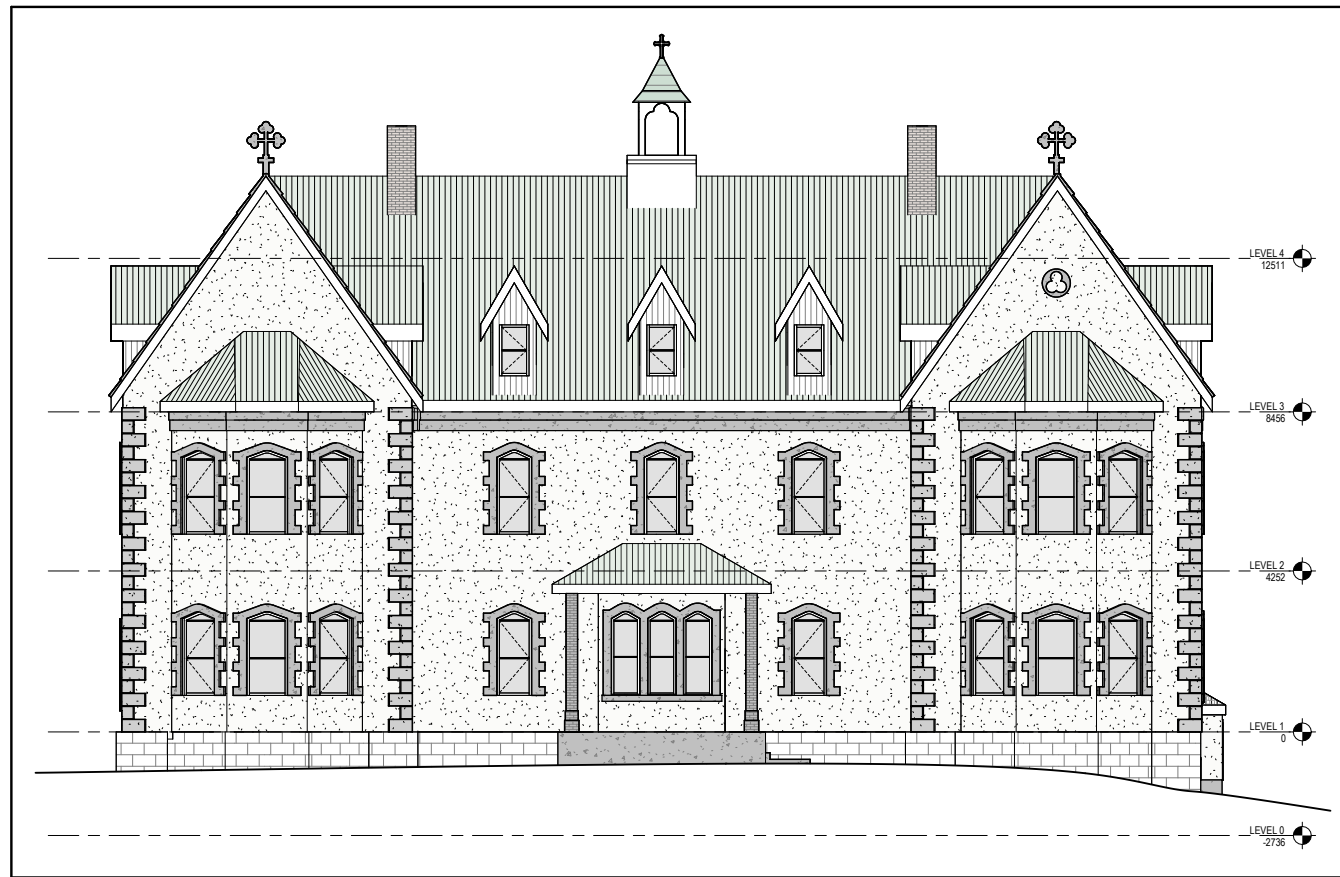
1 ELEVATION - EAST
A401 1:100



2 ELEVATION - NORTH
A401 1:100



3 ELEVATION - WEST
A401 1:100



4 ELEVATION - FRONT
A401 1:100

SHEET NOTES

- 1 REPOINT MASONRY AS REQUIRED USING LIME BASED MORTAR (NO PORTLAND); *deGruchy's Ecologic™ Mortar*. AS STANDARD OF ACCEPTANCE (FINE/COARSE MIX - TBD)
- 2 REPAIR PARPING AS REQUIRED USING LIME BASED MORTAR (NO PORTLAND); *deGruchy's Ecologic™ Mortar* AS STANDARD OF ACCEPTANCE
- 3 REPAINT ALL PARGED SURFACES WITH *Benjamin Moore Exterior Matte Aura Paint*

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1B 2X2
MARK WALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

**PHASE 1 EMERALD PARK /
MOUNT ST. FRANCIS WINDOW,
DOOR, & EXTERIOR WALL
UPGRADES**

4 Merrymeeting Road
St. John's, NL

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

A401



REVISIONS

NO.	YY/MM/DD	DESCRIPTION
2	08/16/2024	ISSUED FOR PERMIT
1	07/12/2024	ISSUED FOR REVIEW

DRAWN BY: CF

PROJECT #: HWA 5340-05

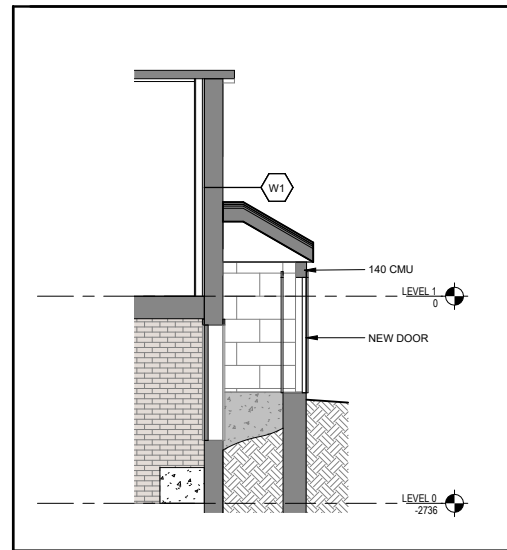
- DO NOT SCALE FROM THIS DRAWING.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
- CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
- DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE
PHASE 1 EMERALD PARK / MOUNT ST. FRANCIS WINDOW, DOOR, & EXTERIOR WALL UPGRADES

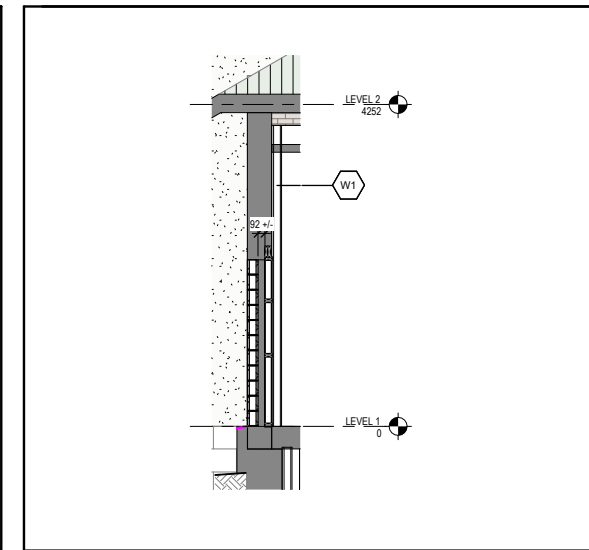
4 Merrymeeting Road
St. John's, NL

DRAWING TITLE
BUILDING SECTIONS

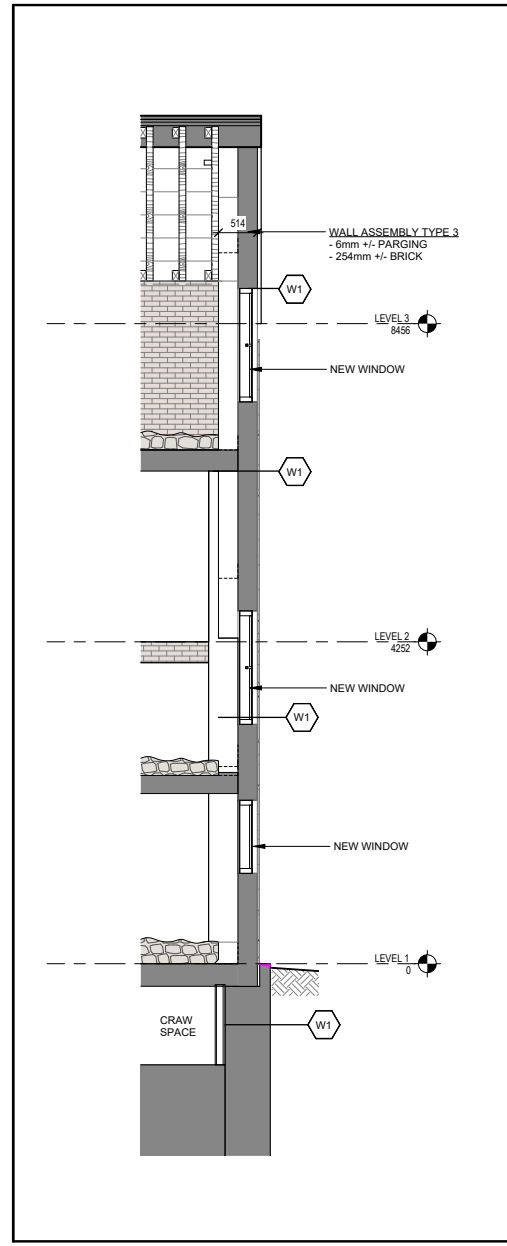
DRAWING NUMBER
A501



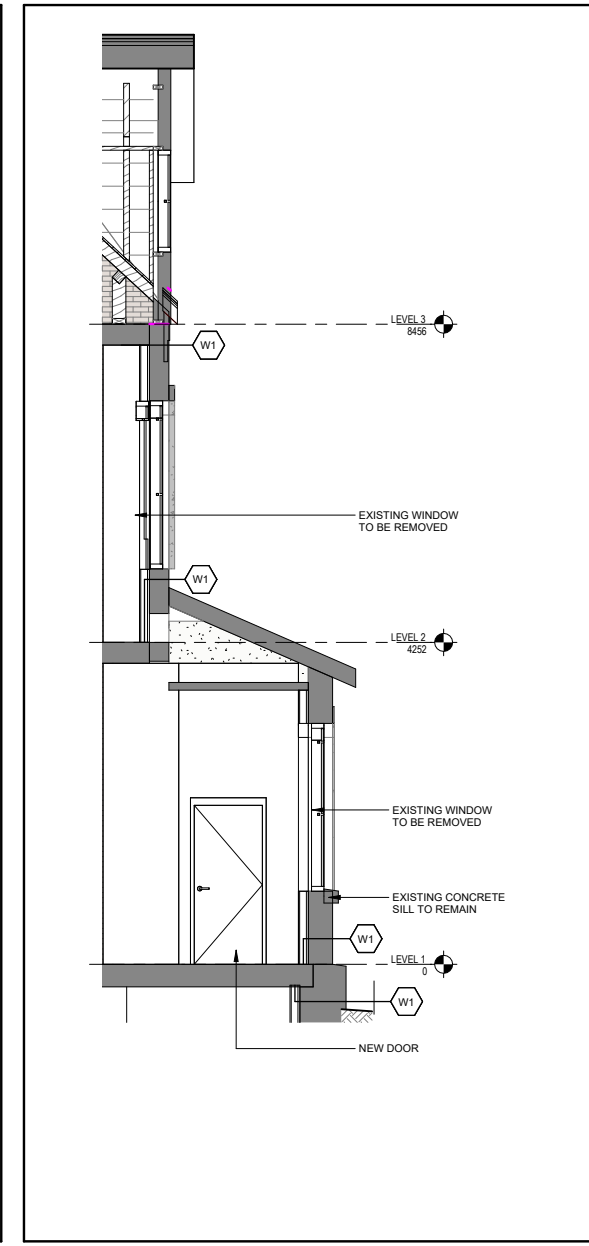
7 WALL SECTION - PHASE 1
A501 1:50



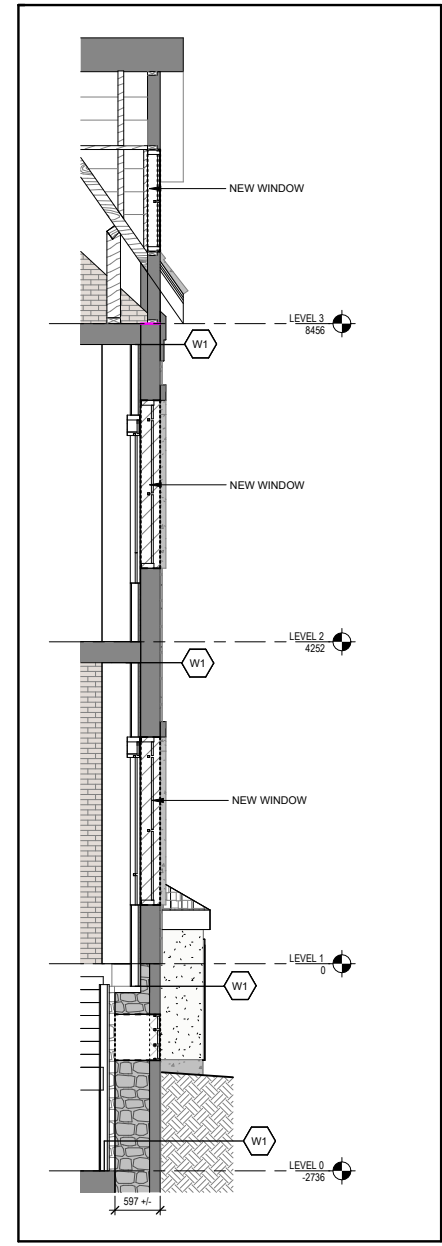
6 WALL SECTION C - PHASE 1
A501 1:50



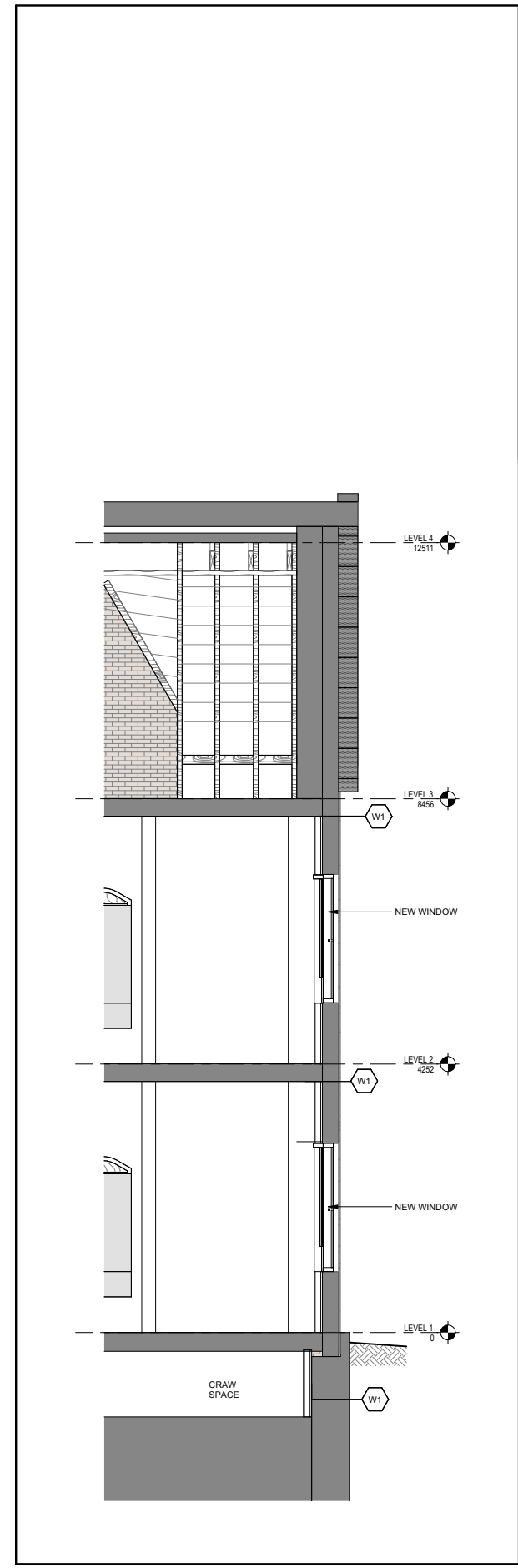
3 WALL SECTION D - PHASE 1
A501 1:50



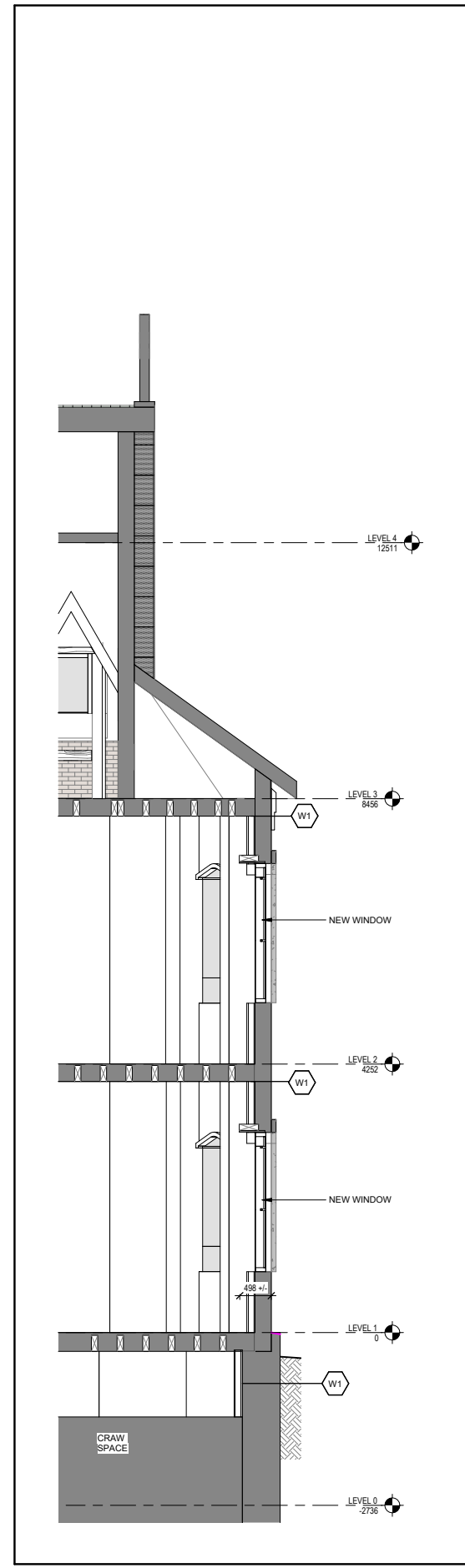
2 WALL SECTION A - PHASE 1
A501 1:50



1 WALL SECTION F - PHASE 1
A501 1:50



4 WALL SECTION E - PHASE 1
A501 1:50



5 WALL SECTION G - PHASE 1
A501 1:50