



QUEEN'S RD

DUCKWORTH ST

GEORGE ST

NEW COWER ST

GEORGE ST

WATER ST

ADELAIDE ST

City Of
St. John's
Annex

16

11-17

27

393

391

14

8

9

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302

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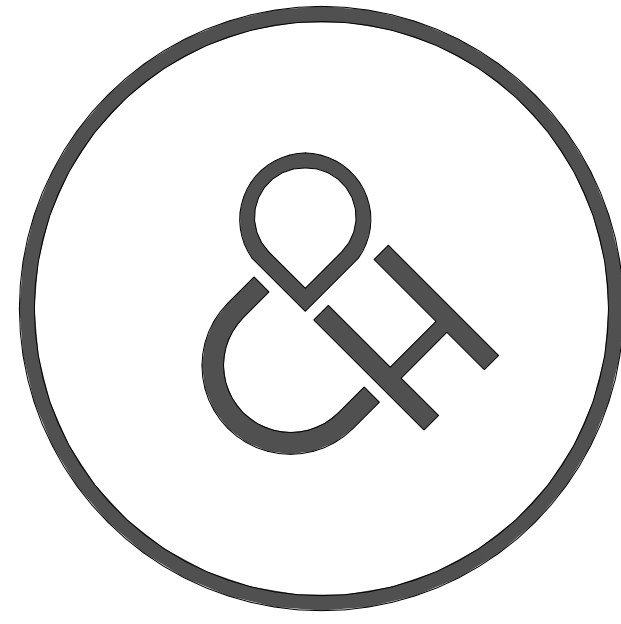



dusk

FOR LEASE
763-8469







DUSK EXTERIOR UPGRADES

DUSK

16 GEORGE STREET, ST. JOHN'S, NL

DRAWING LIST

DWG # Title

Dwgs.Prepared by Interior Design Consultant

A201	GENERAL FLOOR PLAN
A401	EXTERIOR ELEVATIONS (EXISTING / DEMO / NEW)
A402	EXTERIOR ELEVATIONS (EXISTING / DEMO / NEW)
A403	EXISTING EXTERIOR ELEVATION IMAGES & WALL SECTION
A901	PERSPECTIVE VIEWS

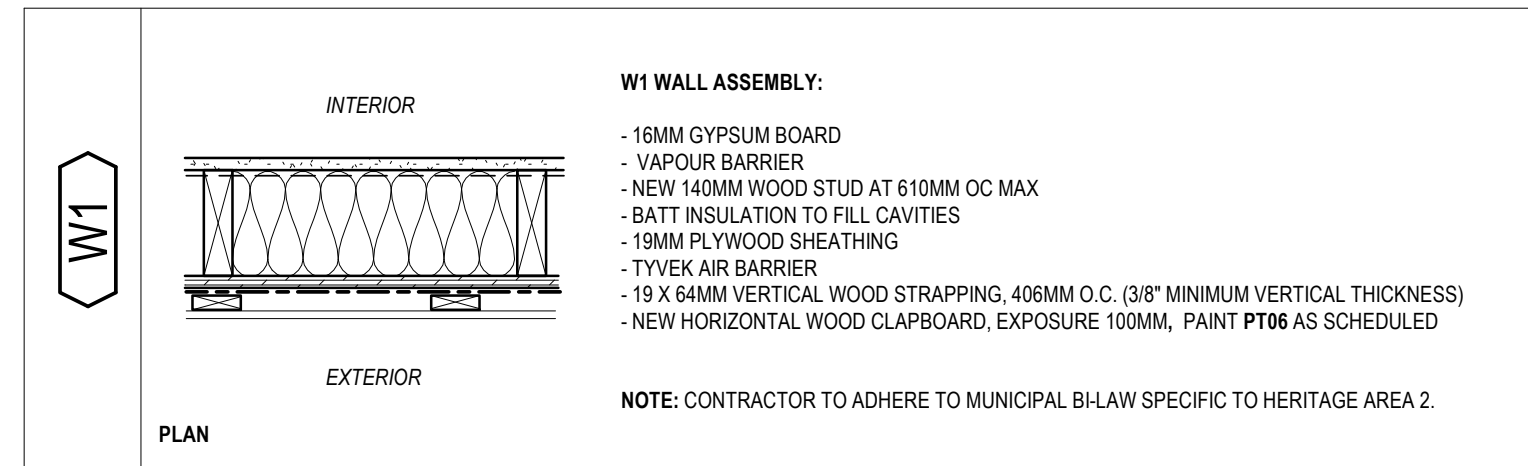
Issued for Review: August 18, 2021

Project # 2103

PRIME / INTERIOR DESIGN CONSULTANT

CARVEL
& HELM

5 Job Street - L2, St. John's, NL A1E 1H1
Phone: (709) 364-2637
www.carvelandhelm.ca



2 EXTERIOR WALL ASSEMBLY

SCALE 1:10



1 GENERAL FLOOR PLAN

SCALE 1:75

SHEET NOTES

THESE NOTES APPLY ONLY TO THE WORK ILLUSTRATED ON THIS SHEET

1. CONTRACTOR TO COORDINATE DRAWINGS WITH EXISTING SITE CONDITIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
3. CONTRACTOR TO PAINT ALL EXISTING EXTERIOR RAILING ON DECK PT04 AS SPECIFIED.
4. CONTRACTOR TO RE-STAIN EXISTING DECK ST01 AS SPECIFIED.
5. CONTRACTOR TO ADHERE TO MUNICIPAL B/LAW SPECIFIC TO HERITAGE AREA 2. REFER TO NEW EXTERIOR WALL ASSEMBLY DESCRIPTION.
6. REFER TO EXTERIOR ELEVATIONS ON SHEETS A401 AND A402 FOR FULL EXTENT OF EXTERIOR SCOPE OF WORK

KEYNOTES

THESE NOTES APPLY ONLY TO PARTICULAR WORK IDENTIFIED BY KEYNOTE MARKERS.

1. EXISTING WOOD DOOR / FRAME ASSEMBLY, REFINISHED AND PAINTED AS SCHEDULED.
2. REMOVE EXISTING OVERHEAD DOORS AND REPLACE WITH NEW AS SHOWN IN EXTERIOR ELEVATION. SIZE TO SUIT EXISTING OPENING.
3. NEW 914MM X 2134MM WOOD DOOR IN BLACK ANODIZED FRAME ASSEMBLY. PAINT DOOR PT04. REFER TO EXTERIOR ELEVATION.
4. NEW 914MM X 2134MM WOOD DOUBLE DOORS IN BLACK ANODIZED FRAME ASSEMBLY. PAINT DOOR PT04. REFER TO EXTERIOR ELEVATION.
5. CLIENT SUPPLIED INTERIOR DOOR / FRAME AND GLAZING ASSEMBLY.
6. PATCH AND REPAIR WOOD DECK AS REQUIRED. REFINISH WITH ST01 AS SCHEDULED.
7. PAINT EXISTING CURVED BRICK PLANTER PT04 AS SCHEDULED.
8. PAINT EXISTING STAIR ASSEMBLY
9. NEW BLACK VINYL EXTERIOR WINDOW ASSEMBLY TO MATCH SIZE OF EXISTING REMOVED.

GENERAL NOTES

THESE NOTES APPLY TO ALL TRADE WORK

1. DO NOT RELY UPON INFORMATION SHOWN ON THIS DRAWING FOR CONSTRUCTION UNLESS IT STATES BELOW THE SHEET HAS BEEN SPECIFICALLY ISSUED FOR THAT PURPOSE.
2. DO NOT SCALE FROM DRAWINGS. PORTIONS OF DRAWINGS MAY NOT BE DRAWN TO SCALE.
3. VERIFY ALL DIMENSIONS ON SITE BEFORE PROCEEDING WITH THE WORK.
4. REFER TO RULER ON BOTTOM OF THIS SHEET TO VERIFY IF THIS SHEET HAS BEEN REDUCED OR ENLARGED IN SIZE.

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B	ISSUED FOR REVIEW	2021-08-18
A	ISSUED FOR REVIEW	2021-06-16

CLIENT/PROJECT

DUSK EXTERIOR UPGRADES

16 GEORGE STREET, ST. JOHN'S, NL

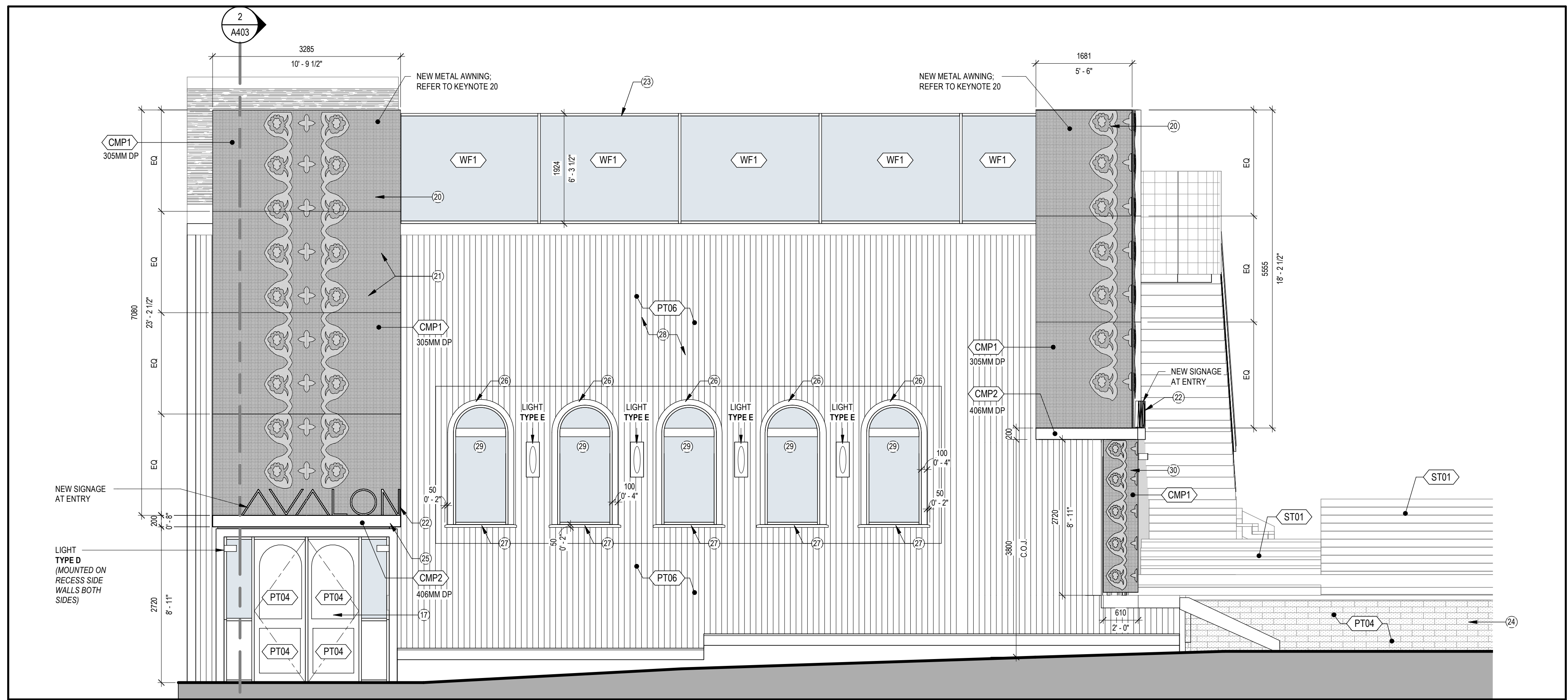
PROJECT NO. 2103

SHEET TITLE

GENERAL FLOOR PLAN

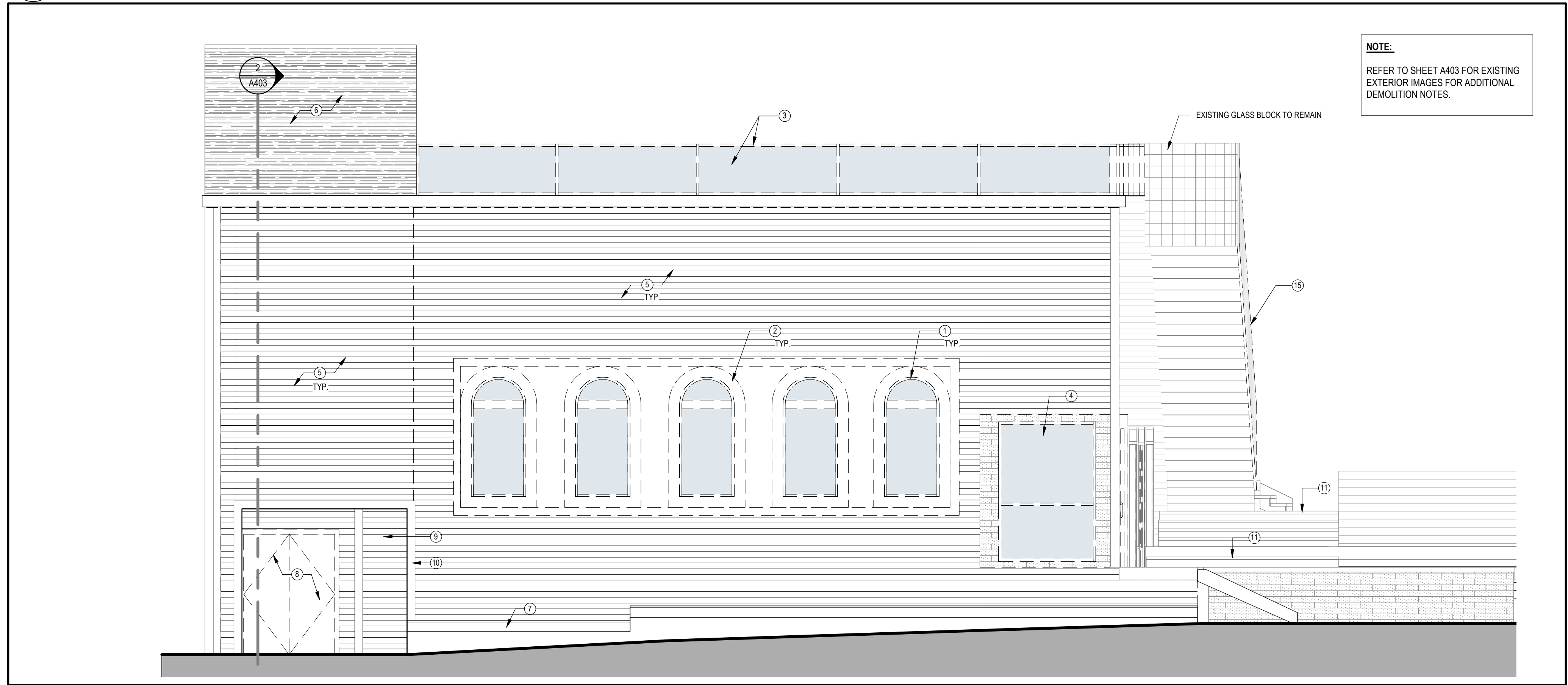
SHEET NO.

A201



2 FRONT ELEVATION_PROPOSED NEW

SCALE 1:50



1 FRONT ELEVATION_EXISTING / DEMOLITION

SCALE 1:50

EXTERIOR ELEMENTS SPECIFICATIONS

- 1. NEW WINDSCREEN AT ROOF TOP:**
CR LAURENCE METROPOLIS WIND SCREEN SYSTEM, 1824MM HIGH POSTS, MATTE BLACK FINISH
<https://www.crlaurence.ca/apps/contentloader/default.aspx?content=www.crlaurence.ca/advspeicals/calmetropolis/index.html>
- 2. NEW ENTRANCE CANOPY SYSTEM:**
EXTRUDECK J-CHANNEL WATER CAPTURE SYSTEM BY MASA ARCHITECTURAL CANOPIES, COMPLETE WITH OBSCURITY SCREEN, DIVERTER PLATE AND DOWNSPOUT, OR EQUIVALENT. POST MOUNTED INSTALLATION. FINISH TO MATCH ALPOLIC ANTHRACITE GREY. DEPTH 610MM FROM FINISHED FACE OF FACADE.

EXTERIOR LEGEND

- DENOTES EXISTING HORIZONTAL WOOD SIDING TO BE REMOVED. REPLACE ROTTED WOOD BACK UP WALL WITH NEW TO MATCH EXISTING REMOVED AS REQUIRED.
- DENOTES NEW VERTICAL WOOD SIDING. REFER TO WALL ASSEMBLY W1 ON SHEET A201.
- DENOTES IMAGERY OF PERFORATION DESIGN OF CMP1 ELEVATION.
CUSTOM PERFORATIONS TO MATCH MAHARAM SYMMETRY PATTERN #399595
<https://www.maharam.com/products/symmetry/colors/011-carbon>
CUSTOM SCALE REQUIRED. TO BE VERIFIED DURING SUBMITTAL REVIEW

SHEET NOTES

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 - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
 - CONTRACTOR TO PAINT ALL EXISTING EXTERIOR RAILING ON DECK PT04 AS SPECIFIED.
 - CONTRACTOR TO RE-STAIN EXISTING DECK ST01 AS SPECIFIED.
 - CONTRACTOR TO ADHERE TO MUNICIPAL BI-LAW SPECIFIC TO HERITAGE AREA 2. REFER TO NEW EXTERIOR WALL ASSEMBLY DESCRIPTION.

KEYNOTES

- THESE NOTES APPLY ONLY TO PARTICULAR WORK IDENTIFIED BY KEYNOTE MARKERS.
- REMOVE EXISTING WINDOW AND REPLACE WITH NEW TO SUIT SIZE AND PROFILE OF EXISTING REMOVED.
 - REMOVE DAMAGED TRIM WORK AROUND WINDOWS, REPLACE WITH NEW, REFER TO KEYNOTE 26 AND 27.
 - REMOVE EXISTING WOOD RAILING / TEMPERED GLAZING ASSEMBLY.
 - REMOVE EXISTING WINDOW ASSEMBLY
 - REMOVE DAMAGED HORIZONTAL WOOD CLADDING. REPLACE WITH VERTICAL CAPECOD CHANNEL PROFILE, 100MM WIDE.
 - EXISTING ROOF SHINGLES TO REMAIN.
 - WOOD SKIRT BOARD TO REMAIN.
 - REMOVE EXISTING DOOR / FRAME ASSEMBLY
 - REMOVE EXISTING EXTERIOR WALL BELOW DOOR WELL. SEE ALSO SHEET A201 FOR FULL EXTENT.
 - WOOD TRIM AROUND DOOR WELL TO REMAIN.
 - PATCH AND REPAIR WOOD DECK AS REQUIRED. REFINISH AS SCHEDULED.
 - REMOVE EXISTING STONE CLADDING
 - REMOVE EXISTING OVERHEAD DOORS AND REPLACE WITH NEW AS SHOWN IN EXTERIOR ELEVATION. SIZE TO SUIT EXISTING OPENING.
 - EXISTING WOOD DOOR / FRAME ASSEMBLY, REFINISHED AND PAINTED AS SCHEDULED.
 - REMOVE EXISTING STAIR RAILING
 - NEW 105MM HIGH METAL STAIR GUARD AND 900MM HANDRAIL SYSTEM
 - NEW BLACK POWDER COATED ALUMINUM DOOR / FRAME ASSEMBLY
 - CUSTOM PERFORATED COMPOSITE METAL AWNING. STRUCTURALLY SECURED TO EXISTING WALL ASSEMBLY VIA OFFSET 305MM STEEL FRAMEWORK BY MANUFACTURER. STRUCTURAL APPROVAL REQUIRED.
 - LINEAR RGB LED LIGHTING. AT PERIMETER OF EACH PANEL.
 - NEW SIGNAGE. CUSTOM BLACK POWDER COATED ALUMINUM CHANNEL LETTERING. BACKLIT.
 - NEW WINDSCREEN AT ROOF TOP. CR LAURENCE METROPOLIS WIND SCREEN SYSTEM, 1824MM HIGH POSTS, MATTE BLACK FINISH
 - PAINT EXISTING CURVED BRICK PLANTER PT04 AS SCHEDULED.
 - CANOPY ENTRANCE SYSTEM. 406MM DP. REFER TO SPECIFICATION ON THIS SHEET.
 - NEW 25 X 100 WOOD TRIM AROUND WINDOW HEAD AND JAMBS AS SHOWN IN COMPLIANCE WITH HERITAGE GUIDELINES.
 - NEW 50 X 50 WOOD SILL. SLOPED FOR POSITIVE DRAINAGE IN COMPLIANCE WITH HERITAGE GUIDELINES.
 - INSTALL NEW VERTICAL WOOD CLADDING ASSEMBLY W1. REFER TO SHEET A201. PAINT PT06 AS SCHEDULED.
 - NEW EXTERIOR WINDOW ASSEMBLY TO MATCH SIZE OF EXISTING REMOVED.
 - NEW WINDSCREEN AT ENTRY

FINISHES LEGEND

- NOTES:
FINISHES AS LISTED ARE A CONTINUATION FROM THE DUSK INTERIOR RENOVATION, FINISHES LEGEND
PRODUCTS AS SPECIFIED CAN BE SUBSTITUTED WITH DESIGNER REVIEW AND APPROVAL.
- PT04** BLACK PAINT TO MATCH BENJAMIN MOORE 2129-10 MIDNIGHT DREAM
 - PT06** DEEP GREEN EXTERIOR PAINT TO MATCH BENJAMIN MOORE 2050-10 SALAMANDER
 - ST01** BENJAMIN MOORE ARBORCOAT. SOLID EXTERIOR DECK STAIN, AMHERST GRAY HC-167
LOCATION: DECK STAIN
 - CMP1** ALPOLIC MCU MICA CHAMPAGNE
 - CMP2** ALPOLIC MRO ANTHRACITE GREY

GENERAL NOTES

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A	ISSUED FOR REVIEW	2021-06-16

CLIENT/PROJECT

DUSK EXTERIOR UPGRADES

16 GEORGE STREET, ST. JOHN'S, NL

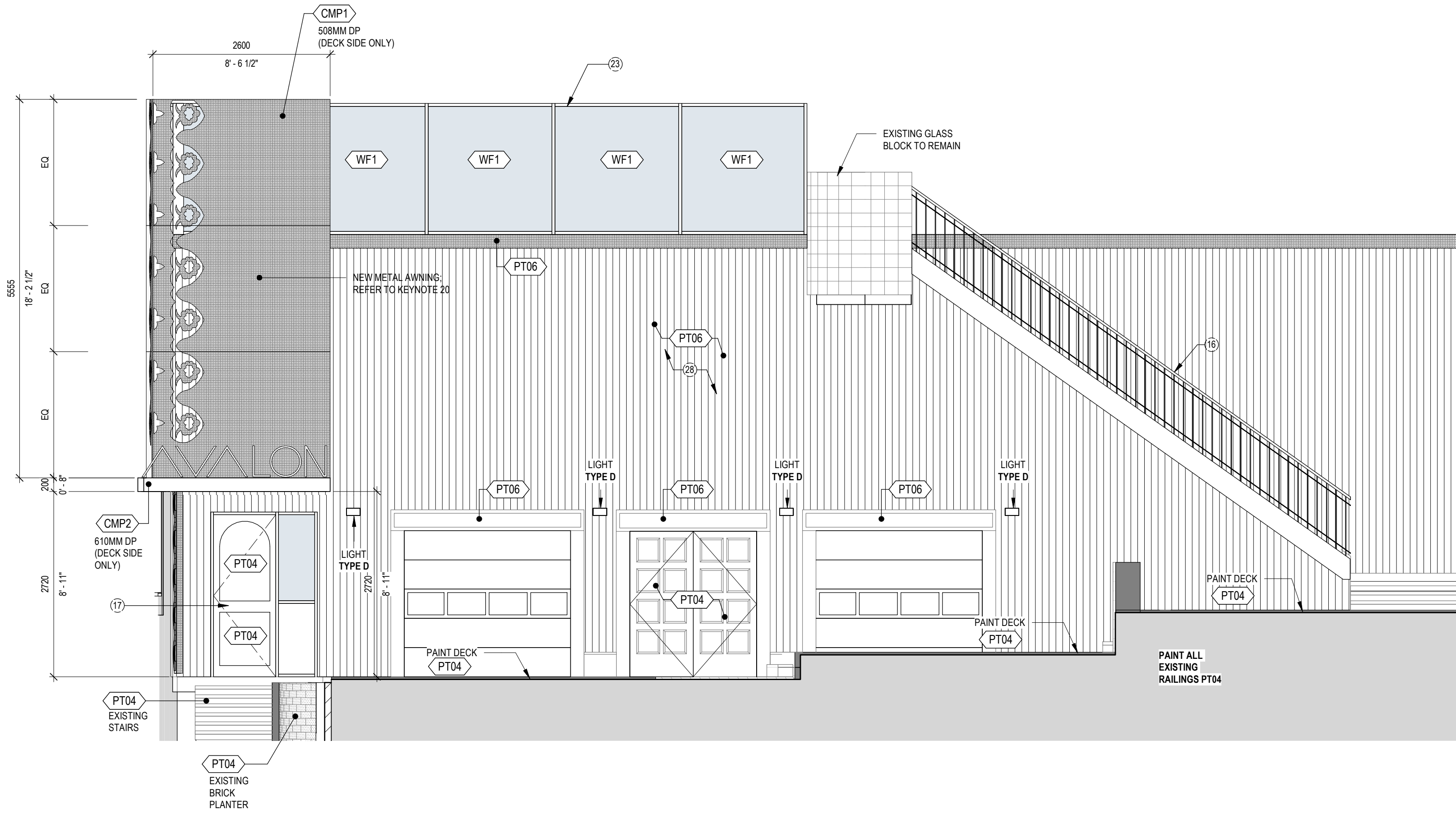
PROJECT NO. **2103**

SHEET TITLE

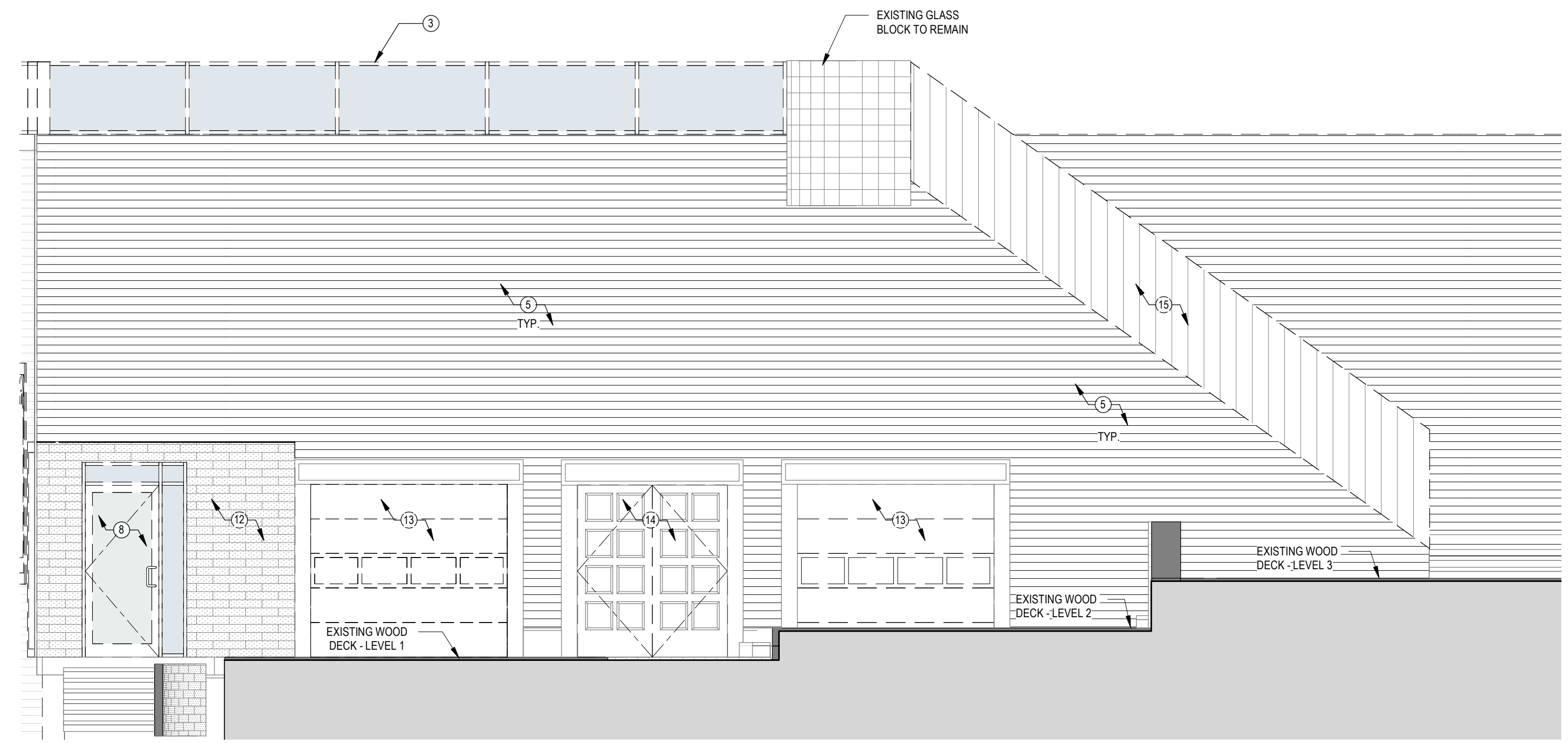
EXTERIOR ELEVATIONS (EXISTING / DEMO / NEW)

SHEET NO.

A401



2 EAST ELEVATION_PROPOSED NEW
SCALE 1:50



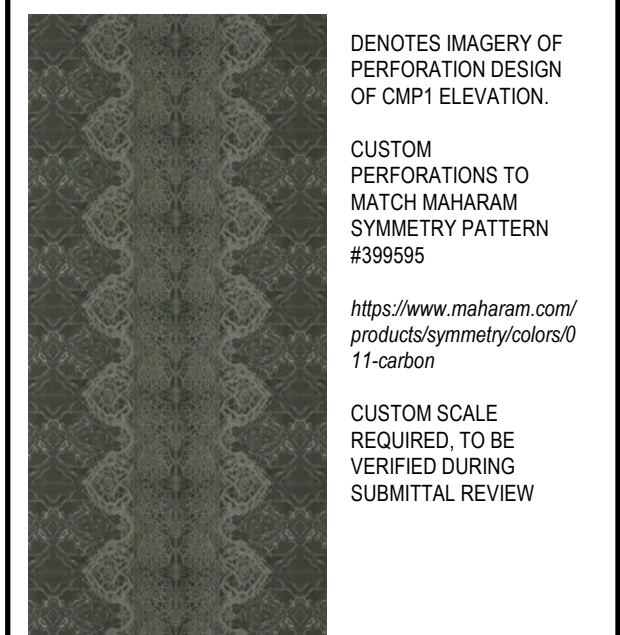
1 EAST ELEVATION_EXISTING / DEMOLITION
SCALE 1:50

EXTERIOR ELEMENTS SPECIFICATIONS

- 1. NEW WINDSCREEN AT ROOF TOP:**
CR LAURENCE METROPOLIS WIND SCREEN SYSTEM, 1824MM HIGH POSTS, MATTE BLACK FINISH
<https://www.crlaurence.ca/apps/contentloader/default.aspx?content=www.crlaurence.ca/adv/specials/ca/metropolis/index.html>
- 2. NEW ENTRANCE CANOPY SYSTEM:**
EXTRUDECK J-CHANNEL WATER CAPTURE SYSTEM BY MASA ARCHITECTURAL CANOPIES, COMPLETE WITH OBSCURITY SCREEN, DIVERTER PLATE AND DOWNSPOUT, OR EQUIVALENT. POST MOUNTED INSTALLATION, FINISH TO MATCH ALPOLIC ANTHRACITE GREY. DEPTH 610MM FROM FINISHED FACE OF FACADE.

EXTERIOR LEGEND

- DENOTES EXISTING HORIZONTAL WOOD SIDING TO BE REMOVED. REPLACE ROTTED WOOD BACK UP WALL WITH NEW TO MATCH EXISTING REMOVED AS REQUIRED.
- DENOTES NEW VERTICAL WOOD SIDING. REFER TO WALL ASSEMBLY W1 ON SHEET A201.



SHEET NOTES

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 - CONTRACTOR TO RE-STAIN EXISTING DECK ST01 AS SPECIFIED.
 - CONTRACTOR TO ADHERE TO MUNICIPAL B/LAW SPECIFIC TO HERITAGE AREA 2. REFER TO NEW EXTERIOR WALL ASSEMBLY DESCRIPTION.

KEYNOTES

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 - REMOVE EXISTING WINDOW ASSEMBLY
 - REMOVE DAMAGED HORIZONTAL WOOD CLADDING. REPLACE WITH VERTICAL CAPECOD CHANNEL PROFILE, 100MM WIDE.
 - EXISTING ROOF SHINGLES TO REMAIN.
 - WOOD SKIRT BOARD TO REMAIN.
 - REMOVE EXISTING DOOR / FRAME ASSEMBLY
 - REMOVE EXISTING EXTERIOR WALL BELOW DOOR WELL. SEE ALSO SHEET A201 FOR FULL EXTENT.
 - WOOD TRIM AROUND DOOR WELL TO REMAIN.
 - PATCH AND REPAIR WOOD DECK AS REQUIRED. REFINISH AS SCHEDULED.
 - REMOVE EXISTING STONE CLADDING.
 - REMOVE EXISTING OVERHEAD DOORS AND REPLACE WITH NEW AS SHOWN IN EXTERIOR ELEVATION. SIZE TO SUIT EXISTING OPENING.
 - EXISTING WOOD DOOR / FRAME ASSEMBLY, REFINISHED AND PAINTED AS SCHEDULED.
 - REMOVE EXISTING STAIR RAILING
 - NEW 1067MM HIGH METAL STAIR GUARD AND 900MM HANDRAIL SYSTEM
 - NEW BLACK POWDER COATED ALUMINUM DOOR / FRAME ASSEMBLY
 - CUSTOM PERFORATED COMPOSITE METAL AWNING. STRUCTURALLY SECURED TO EXISTING WALL ASSEMBLY VIA OFFSET 305MM STEEL FRAMEWORK BY MANUFACTURER. STRUCTURAL APPROVAL REQUIRED.
 - LINEAR RGB LED LIGHTING, AT PERIMETER OF EACH PANEL.
 - NEW SIGNAGE. CUSTOM BLACK POWDER COATED ALUMINUM CHANNEL LETTERING, BACKLIT.
 - NEW WINDSCREEN AT ROOF TOP. CR LAURENCE METROPOLIS WIND SCREEN SYSTEM, 1824MM HIGH POSTS, MATTE BLACK FINISH
 - PAINT EXISTING CURVED BRICK PLANTER PT04 AS SCHEDULED.
 - CANOPY ENTRANCE SYSTEM, 406MM DP. REFER TO SPECIFICATION ON THIS SHEET.
 - NEW 25 X 100 WOOD TRIM AROUND WINDOW HEAD AND JAMBS AS SHOWN IN COMPLIANCE WITH HERITAGE GUIDELINES.
 - NEW 50 X 50 WOOD SILL, SLOPED FOR POSITIVE DRAINAGE IN COMPLIANCE WITH HERITAGE GUIDELINES.
 - INSTALL NEW VERTICAL WOOD CLADDING ASSEMBLY W1. REFER TO SHEET A201. PAINT PT06 AS SCHEDULED.
 - NEW EXTERIOR WINDOW ASSEMBLY TO MATCH SIZE OF EXISTING REMOVED.
 - NEW WINDSCREEN AT ENTRY

FINISHES LEGEND

- NOTES:**
FINISHES AS LISTED ARE A CONTINUATION FROM THE DUSK INTERIOR RENOVATION, FINISHES LEGEND
PRODUCTS AS SPECIFIED CAN BE SUBSTITUTED WITH DESIGNER REVIEW AND APPROVAL.
- PT04** BLACK PAINT TO MATCH BENJAMIN MOORE 2129-10 MIDNIGHT DREAM
- PT06** DEEP GREEN EXTERIOR PAINT TO MATCH BENJAMIN MOORE 2050-10 SALAMANDER
- ST01** BENJAMIN MOORE ARBORCOAT, SOLID EXTERIOR DECK STAIN, AMHERST GRAY HC-167 LOCATION: DECK STAIN
- CMP1** ALPOLIC MCU MICA CHAMPAGNE
- CMP2** ALPOLIC MRO ANTHRACITE GREY

GENERAL NOTES

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5 Job Street - L2, St. John's, NL A1E 1H1
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www.carvelandhelm.ca

B	ISSUED FOR REVIEW	2021-06-18
A	ISSUED FOR REVIEW	2021-06-16

CLIENT/PROJECT

DUSK EXTERIOR UPGRADES

16 GEORGE STREET, ST. JOHN'S, NL

PROJECT NO. **2103**

SHEET TITLE

EXTERIOR ELEVATIONS (EXISTING / DEMO / NEW)

SHEET NO.

A402

SHEET NOTES

THESE NOTES APPLY ONLY TO THE WORK ILLUSTRATED ON THIS SHEET

1. CONTRACTOR TO COORDINATE DRAWINGS WITH EXISTING SITE CONDITIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
3. CONTRACTOR TO ADHERE TO MUNICIPAL B/LAW SPECIFIC TO HERITAGE AREA 2. REFER TO NEW EXTERIOR WALL ASSEMBLY DESCRIPTION.
4. REFER TO EXTERIOR ELEVATIONS ON SHEETS A401 AND A402 FOR ADDITIONAL DETAILED INFORMATION.

KEYNOTES

THESE NOTES APPLY ONLY TO PARTICULAR WORK IDENTIFIED BY KEYNOTE MARKERS.

- 1 REMOVE DAMAGED TRIM WORK AROUND WINDOWS. REPLACE WITH NEW.
- 2 REMOVE EXISTING WOOD RAILING / TEMPERED GLAZING ASSEMBLY.
- 3 REMOVE EXISTING WINDOW ASSEMBLY
- 4 REMOVE DAMAGED HORIZONTAL WOOD CLADDING. REPLACE WITH VERTICAL CAPECOD CHANNEL PROFILE, 100MM WIDE.
- 5 REMOVE EXISTING STONE CLADDING.
- 6 REMOVE EXISTING BANNER SIGNAGE
- 7 REMOVE EXISTING AWNING
- 8 REMOVE EXISTING PROJECTED EXTERIOR LIGHT BOXES.
- 9 REMOVE EXISTING SIGNAGE.
- 10 REMOVE EXISTING CANVAS CANOPY SYSTEM.
- 11 CUSTOM PERFORATED METAL AWNING, STRUCTURALLY SECURED TO EXISTING WALL ASSEMBLY VIA OFFSET 508MM STEEL FRAMEWORK BY MANUFACTURER.
- 12 NEW SIGNAGE: CUSTOM BLACK POWDER COATED ALUMINUM CHANNEL LETTERING, BACKLIT.
- 13 CANOPY ENTRANCE SYSTEM, 408MM DP. REFER TO SPECIFICATION ON 400 SERIES SHEETS.

GENERAL NOTES

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CLIENT/PROJECT

DUSK EXTERIOR UPGRADES

16 GEORGE STREET, ST. JOHN'S, NL

PROJECT NO. **2103**

SHEET TITLE

EXISTING EXTERIOR ELEVATION IMAGES & WALL SECTION

SHEET NO.

A403



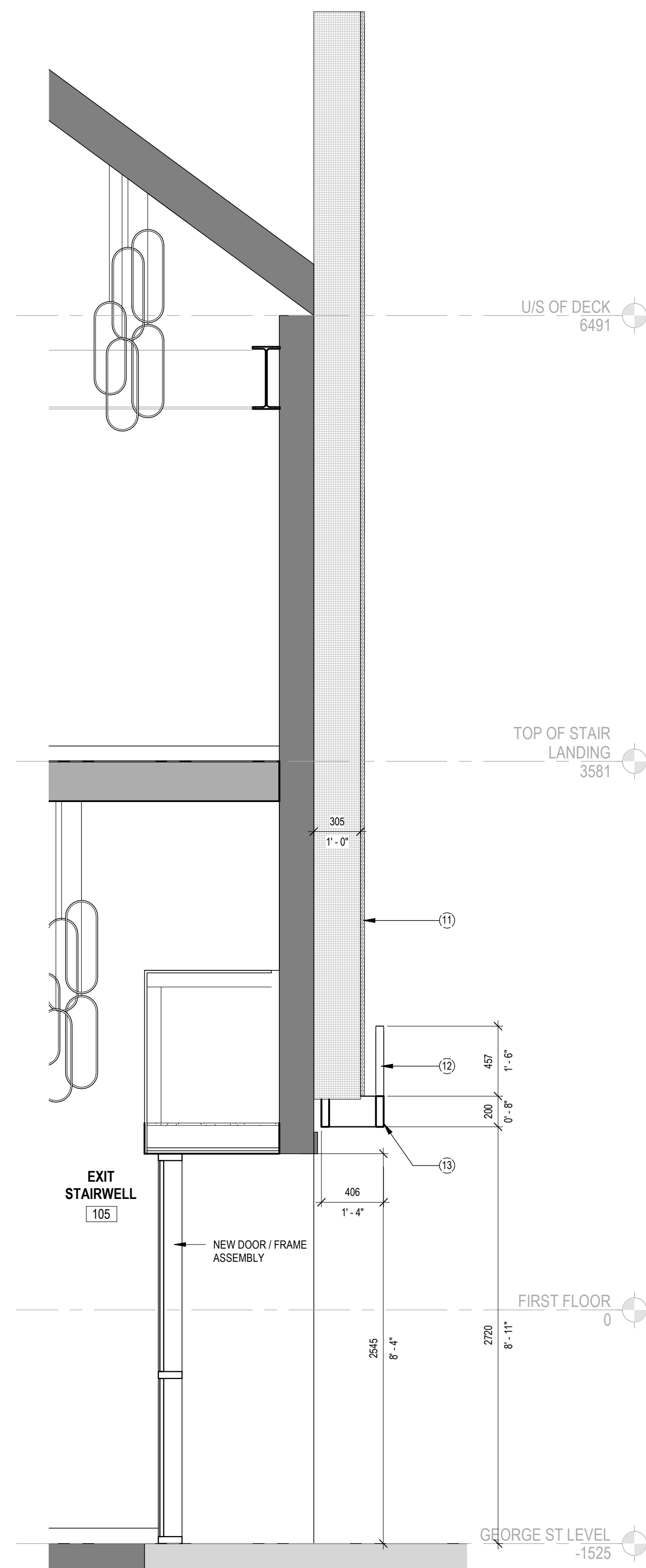
3 EXISTING ELEVATION - SIDE ELEVATION

SCALE 1 : 50



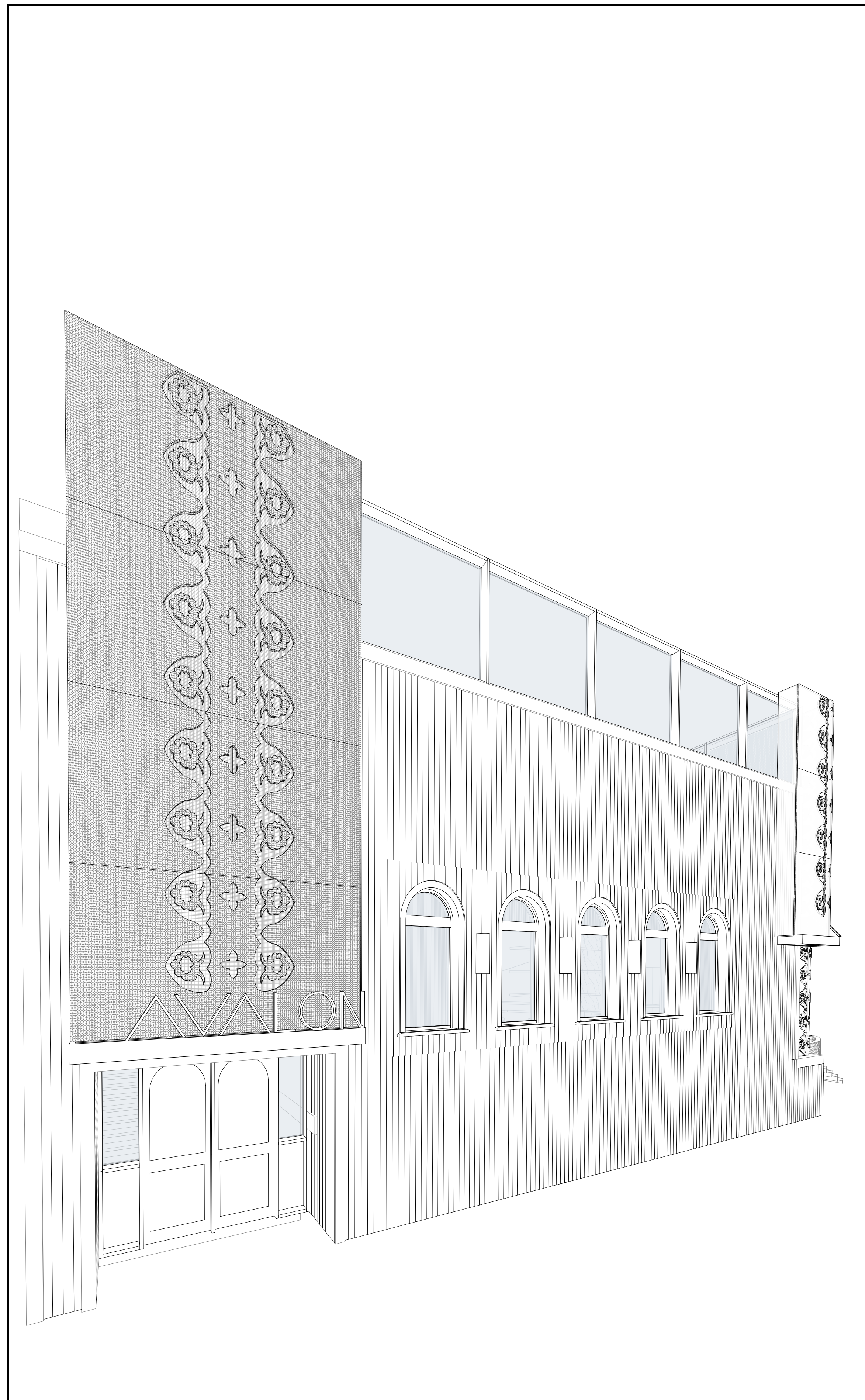
1 EXISTING ELEVATION - GEORGE STREET

SCALE 1 : 50

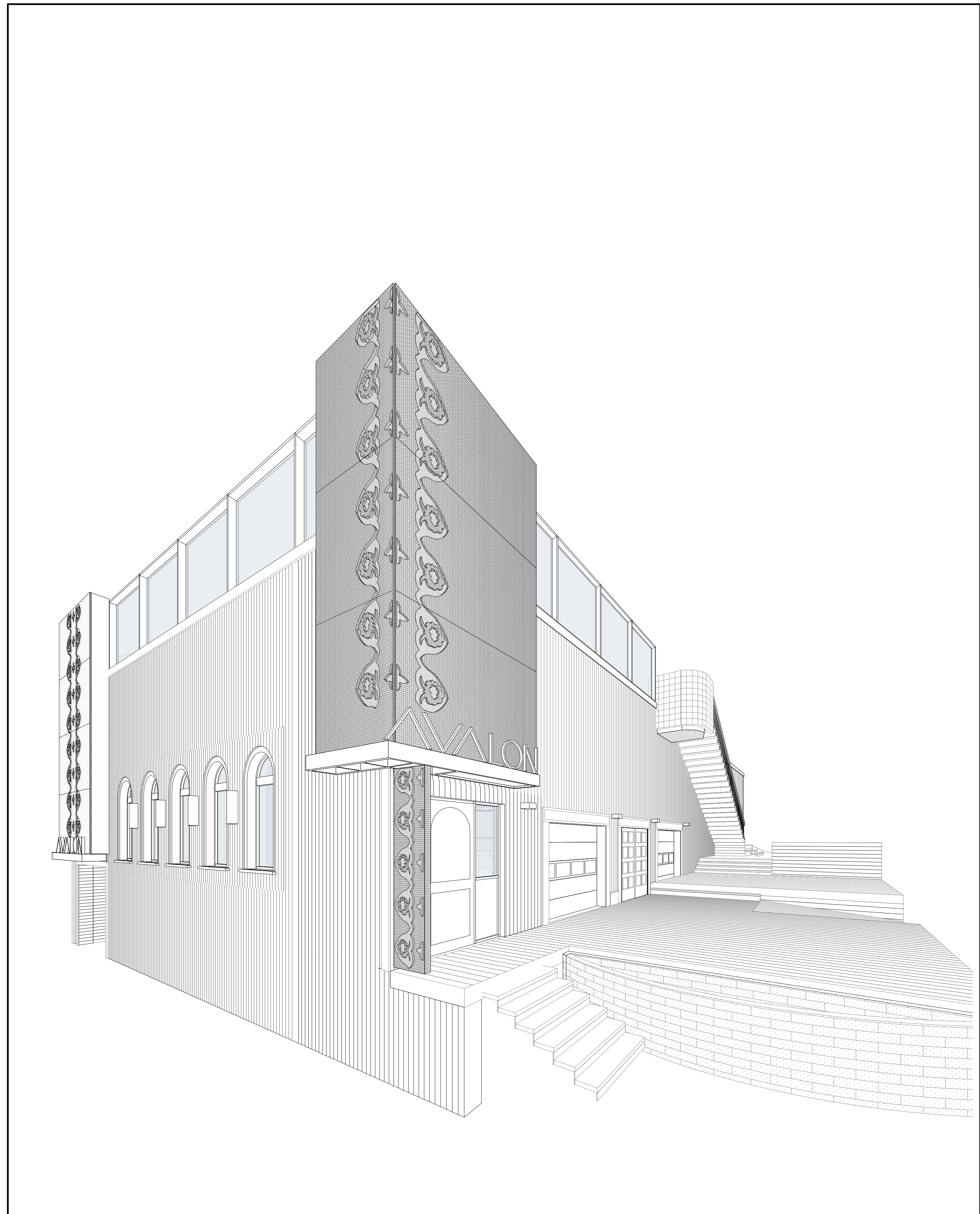


2 SECTION THROUGH EXTERIOR WALL

SCALE 1 : 25



2 DUSK EXT PERSPECTIVE_2
SCALE



1 DUSK EXT PERSPECTIVE_1
SCALE

GENERAL NOTES

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DISCLAIMER NOTE:

PERSPECTIVE IMAGES AS SHOWN ARE NOT A TRUE REPRESENTATION OF THE FULL DESIGN.
PLANS AND ELEVATIONS TAKE PRECEDENCE OVER THE IMAGES AS SHOWN ON THIS SHEET.

B	ISSUED FOR REVIEW	2021-06-18
A	ISSUED FOR REVIEW	2021-06-16

CLIENT/PROJECT

**DUSK EXTERIOR
UPGRADES**

16 GEORGE STREET, ST. JOHN'S, NL



PROJECT NO. **2103**




SHEET TITLE
PERSPECTIVE VIEWS

SHEET NO.

A901

Proposed windows for George Street facade

Ln #:	Qty	Product Description:	Colour:	Area / Perimeter	Jamb Width:	LIST:	NET:
1	5	Shape: Extended Arch 8657 1 panel	Black-White	127.832 ft ² 109'	0.75"		
PF(8657) CP FxP 8657 Shape: 41.25" x 89.25" Extended Arch (Leg 70"). Panels: 41.25" x 89.25" Leg 70" Ext. 1 5/8 in BM With Fin Int. 3/4 Return Included Opt: Colour: Black Opt: Glass: Clear-3, Low E-3, -0 Notes: paint inside and outside black						Frame(WxH): 41.25" x 89.25" BMO: 43.97" x 91.97" RSO: 42" x 90"	

Total perimeter	Patio doors: 0	Other doors: 0	Windows: 108' 9"
Total area	Patio doors: 0 ft ²	Other doors: 0 ft ²	Windows: 127.832 ft ²
			LIST: 
			Net Price: 
			Tax: 
			Total: 