

# ST. JOHN'S

## Regular Meeting - City Council Agenda

September 3, 2024

3:00 p.m.

4th Floor City Hall

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# ST. JOHN'S

## **Minutes of Regular Meeting - City Council Council Chamber, 4th Floor, City Hall**

**August 20, 2024, 3:00 p.m.**

Present: Deputy Mayor Sheilagh O'Leary  
Councillor Ron Ellsworth  
Councillor Sandy Hickman  
Councillor Jill Bruce  
Councillor Ophelia Ravencroft  
Councillor Tom Davis

Regrets: Mayor Danny Breen  
Councillor Maggie Burton  
Councillor Debbie Hanlon  
Councillor Carl Ridgeley

Staff: Derek Coffey, Deputy City Manager of Finance & Administration  
Tanya Haywood, Deputy City Manager of Community Services  
Jason Sinyard, Deputy City Manager of Planning, Engineering & Regulatory Services  
Lynnann Winsor, Deputy City Manager of Public Works  
Cheryl Mullett, City Solicitor  
Ken O'Brien, Chief Municipal Planner  
Theresa Walsh, City Clerk  
Jackie O'Brien, Manager of Communications  
Christine Carter, Legislative Assistant

### **Land Acknowledgement**

**The following statement was read into the record:**

**"We respectfully acknowledge the Province of Newfoundland & Labrador, of which the City of St. John's is the capital City, as the ancestral homelands of the Beothuk. Today, these lands are home to a diverse population of Indigenous and other peoples. We would also like to acknowledge with respect the diverse histories and cultures of the Mi'kmaq, Innu, Inuit, and Southern Inuit of this Province."**

### **1. CALL TO ORDER**

As the Mayor was absent, Deputy Mayor O'Leary acted as Chair and called the meeting to order at 3:00 pm.

**2. PROCLAMATIONS/PRESENTATIONS**

**3. APPROVAL OF THE AGENDA**

**3.1 Adoption of Agenda**

SJMC-R-2024-08-20/401

**Moved By** Councillor Ravencroft

**Seconded By** Councillor Davis

That the Agenda be adopted as presented.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**4. ADOPTION OF THE MINUTES**

**4.1 Adoption of Minutes - August 6, 2024**

SJMC-R-2024-08-20/402

**Moved By** Councillor Hickman

**Seconded By** Councillor Bruce

That the minutes of August 6, 2024, be adopted as presented.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**5. BUSINESS ARISING FROM THE MINUTES**

**6. DEVELOPMENT APPLICATIONS**

**6.1 Notices Published – 8 Adventure Avenue – DEV2400096**

SJMC-R-2024-08-20/403

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Davis

That Council approve the Discretionary Use application at 8 Adventure Avenue for a Home Occupation to permit a hair salon.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**



**6.2 Proposed Accessory Building in the Floodplain Buffer – 154 Diamond Marsh Drive – INT2400066**

SJMC-R-2024-08-20/404

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Hickman

That Council approve a residential Accessory Building in the Floodplain Buffer at 154 Diamond Marsh Drive subject to the Accessory Building requirements of the St. John's Development Regulations.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**6.3 Notices Published – 237 Brookfield Road – DEV2400093/SUB2400031**

SJMC-R-2024-08-20/405

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Bruce

That Council approve the Discretionary Use for a Single Detached Dwelling (Lot 2) at 237 Brookfield Road and set the Zone Standards for Lot 1 (Agriculture Use) as follows: Lot Area at 1.377ha (13,769m<sup>2</sup>) and Lot Frontage at 63metres as measured at a setback of 62.6 metres.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**6.4 Crown Land Grant – 1040 Main Road – CRW2400011**

SJMC-R-2024-08-20/406

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Davis

That Council reject the Crown Land Grant at 1040 Main Road as the proposal does not meet the minimum Lot Area for the RRI Zone and development is premature due to a wetland on the property.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**6.5 Proposed Fence in the Floodplain Buffer – 53 Gairlock Street – INT2400065**

SJMC-R-2024-08-20/407

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Bruce

That Council approve a residential Fence in the Floodplain Buffer at 53 Gairlock Street.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**7. RATIFICATION OF EPOLLS**

**8. COMMITTEE REPORTS**

**9. DEVELOPMENT PERMITS LIST (FOR INFORMATION ONLY)**

**9.1 Development Permits List August 1 - 14, 2024**

**10. BUILDING PERMITS LIST (FOR INFORMATION ONLY)**

**10.1 Building Permits List**

**11. REQUISITIONS, PAYROLLS AND ACCOUNTS**

**11.1 Weekly Payment Vouchers for the Weeks Ending August 7 and August 14, 2024**

Weekly Payment Vouchers for the Weeks Ending August 7 and August 14, 2024

SJMC-R-2024-08-20/408

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Ravencroft

That the weekly payment vouchers for the weeks ending August 7, 2024, and August 14, 2024, in the amount of \$13,838,567.84, be approved as presented.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**12. TENDERS/RFPS****13. NOTICES OF MOTION, RESOLUTIONS QUESTIONS AND PETITIONS****14. NEW BUSINESS****14.1 Mobile Sign Approval**

Councillor Hickman enquired as to whether the proposed signage and its placement had been checked for the effect on sightlines. The Deputy City Manager of Planning, Engineering and Regulatory Services advised that sightline assessment is a part of the evaluation process for signage applications by Departmental Staff.

Members of Council also discussed the upcoming redevelopment plan for Churchill Square. Signage, beautification and the commercial growth in the area should also be a part of those discussions.

SJMC-R-2024-08-20/409

**Moved By** Councillor Hickman

**Seconded By** Councillor Bruce

That Council approve the request and grant permission for the placement of the mobile sign as submitted with the option to renew for an additional six months.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.2 What We Heard- Quidi Vidi Slipway/Water Access**

Councillor Ravencroft provided an overview of the Information Note and the What We Heard report related to the engagement for the Quidi Vidi Slipway/Water Access.

Highlights from the What We Heard report included:

- granted the slipway and some of the surrounding area from the Federal Government in 2013
- recent engineering assessment from 2013 and the estimated costs to replace the infrastructure
- shown that it is currently not safe to use
- importance of the slipway for the residents of the area and City residents

- uses of the slipway includes boat launching, fishing, boat storage, and is a tourist destination
- an overview of the engagement conducted and the feedback received
- that feedback shows that residents and respondents wish to have the slipway replaced and offered other suggestions for its use and the area

Councillor Ravencroft advised that the next steps in the process, after the release of the What We Heard report, is for Staff to prepare recommendations for Council to consider and for Council to review those recommendations and make a decision regarding the slipway.

Residents from Quidi Vidi in attendance at the Council meeting were recognized by Councillor Ravencroft and thanked for their input and participation in the process.

The Deputy Mayor also added that this is a multi-faceted piece of infrastructure with multiple uses for many residents of the local area and the City, and looks forward to reviewing and discussing the recommendations to come.

Councillor Ravencroft inquired as to the timeline for the presentation of recommendations to Council. The Acting City Manager advised that discussions with Public Works and Parks and Open Spaces Staff have begun and it will likely be later this year or early next year for those recommendations to be presented to Council.

#### **14.3 39 Topsail Road – DEV2400064 – Heritage Report Terms of Reference**

SJMC-R-2024-08-20/410

**Moved By** Councillor Davis

**Seconded By** Councillor Ravencroft

That Council approve the terms of reference for a Heritage Report for the building addition proposed to 39 Topsail Road.

Further, upon receiving a satisfactory Heritage Report, that Council advertise the report as per the Envision St. John's Development Regulations.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.4 50 Bennett Avenue – Adoption – MPA2300007**

SJMC-R-2024-08-20/411

**Moved By** Councillor Davis

**Seconded By** Councillor Ellsworth

That Council adopt the attached resolutions for Envision St. John's Municipal Plan Amendment Number 13, 2024 and Envision St. John's Development Regulations Amendment Number 39, 2024, and appoint Marie Ryan as Commissioner for a Public Hearing on the amendments. The proposed date is Wednesday, September 11, 2024, at 7 p.m. at St. John's City Hall.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.5 79 Rennie's Mill Road – REN2400069 – Designated Heritage Building**

SJMC-R-2024-08-20/412

**Moved By** Councillor Davis

**Seconded By** Councillor Bruce

That Council approve the exterior alterations, as proposed, to 79 Rennie's Mill Road, a designated Heritage Building.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.6 Sale of City land on Welland Street**

SJMC-R-2024-08-20/413

**Moved By** Councillor Ellsworth

**Seconded By** Councillor Hickman

That Council approve the sale of City land on Welland Street, as shown on the attached diagram.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.7 1 Clift's – Baird's Cove – REZ2400016 – Terms of Reference**

Several members of Council added their support for the proposal citing that it could see the addition of 100 residential units to the downtown, is a great conversion of the space, and increases the City's tax base.

SJMC-R-2024-08-20/414

**Moved By** Councillor Davis

**Seconded By** Councillor Ravencroft

That Council consider a text amendment to the Atlantic Place Parking Garage (APG) Zone to enable a residential development at 1 Clift's – Baird's Cove.

Further, that Council approve the attached draft terms of reference for a Heritage and Land Use Report.

Further, upon receiving a satisfactory Report, that Council refer the application to a public meeting chaired by an independent facilitator for public input and feedback.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.8 358-376 Portugal Cove Place – REZ2200011**

Members of Council added their support and encouragement for these projects as they will aid in filling the housing gap in the City.

The importance of working with developers and getting these projects approved in a timely matter was highlighted.

SJMC-R-2024-08-20/415

**Moved By** Councillor Davis

**Seconded By** Councillor Ellsworth

That Council consider rezoning 358-376 Portugal Cove Place from the Residential 1 (R1) Zone to the Residential 2 (R2) Zone and Apartment 1 (A1) Zone for a mixed subdivision of Semi-detached Dwellings, Townhouses and Cluster Development. Further, upon receiving a satisfactory Land Use Report (LUR), that Council refer the application to a public meeting chaired by an independent facilitator for public input and feedback.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**14.9 SERC – Film Shoot and Block Party Road Closure**

SJMC-R-2024-08-20/416

**Moved By** Councillor Bruce

**Seconded By** Councillor Ravencroft

That Council approve road closures associated with the filming of Son of a Critch and a block party.

For (6): Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Ravencroft, and Councillor Davis

**MOTION CARRIED (6 to 0)**

**15. OTHER BUSINESS**

**16. ACTION ITEMS RAISED BY COUNCIL**

**17. ADJOURNMENT**

There being no further business, the meeting adjourned at 3:55 pm.

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MAYOR

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CITY CLERK

# DECISION/DIRECTION NOTE

**Title:** Proposed Residential Deck in the Wetland Buffer – 45 & 47 Leonard J. Cowley Street – INT2400070 & INT2400071

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** Ward 4

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## Decision/Direction Required:

To seek approval for a residential Deck in the Wetland Buffer at 45 and 47 Leonard J. Cowley Street.

## Discussion – Background and Current Status:

A 9.61m<sup>2</sup> (3.1m x 3.1m) deck was proposed for each new Dwelling at 45 and 47 Leonard J. Cowley Street. A portion of the rear yard for each Lot is located within the Wetland Buffer. As per **Section 4.10(4)(a)** of the **Envision St. John's Development Regulations**, Council may permit the development of a residential Deck within a Wetland Buffer. As per **Section 4.10 (6)**, consultation with the Environmental and Sustainability Experts Panel (ESEP) is not required.

## Key Considerations/Implications:

1. Budget/Financial Implications: Not Applicable.
2. Partners or Other Stakeholders: Not Applicable.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.

5. Alignment with Adopted Plans: **Envision St. John's Municipal Plan and Development Regulations.**
6. Accessibility and Inclusion: Not Applicable.

# ST. JOHN'S



7. Legal or Policy Implications: **Envision St. John's Development Regulations Section 4.10 "Waterways, Wetlands, Ponds or Lakes."**
8. Privacy Implications: Not Applicable.
9. Engagement and Communications Considerations: Not Applicable.
10. Human Resource Implications: Not Applicable.
11. Procurement Implications: Not Applicable.
12. Information Technology Implications: Not Applicable.
13. Other Implications: Not Applicable.

**Recommendation:**

That Council approve a residential Deck in the Wetland Buffer at 45 and 47 Leonard J. Cowley Street.

**Prepared by:**

Andrea Roberts P. Tech – Senior Development Officer  
Planning, Engineering and Regulatory Services

**Approved by:**

Jason Sinyard, P. Eng., MBA, Deputy City Manager-  
Planning, Engineering and Regulatory Services

**Report Approval Details**

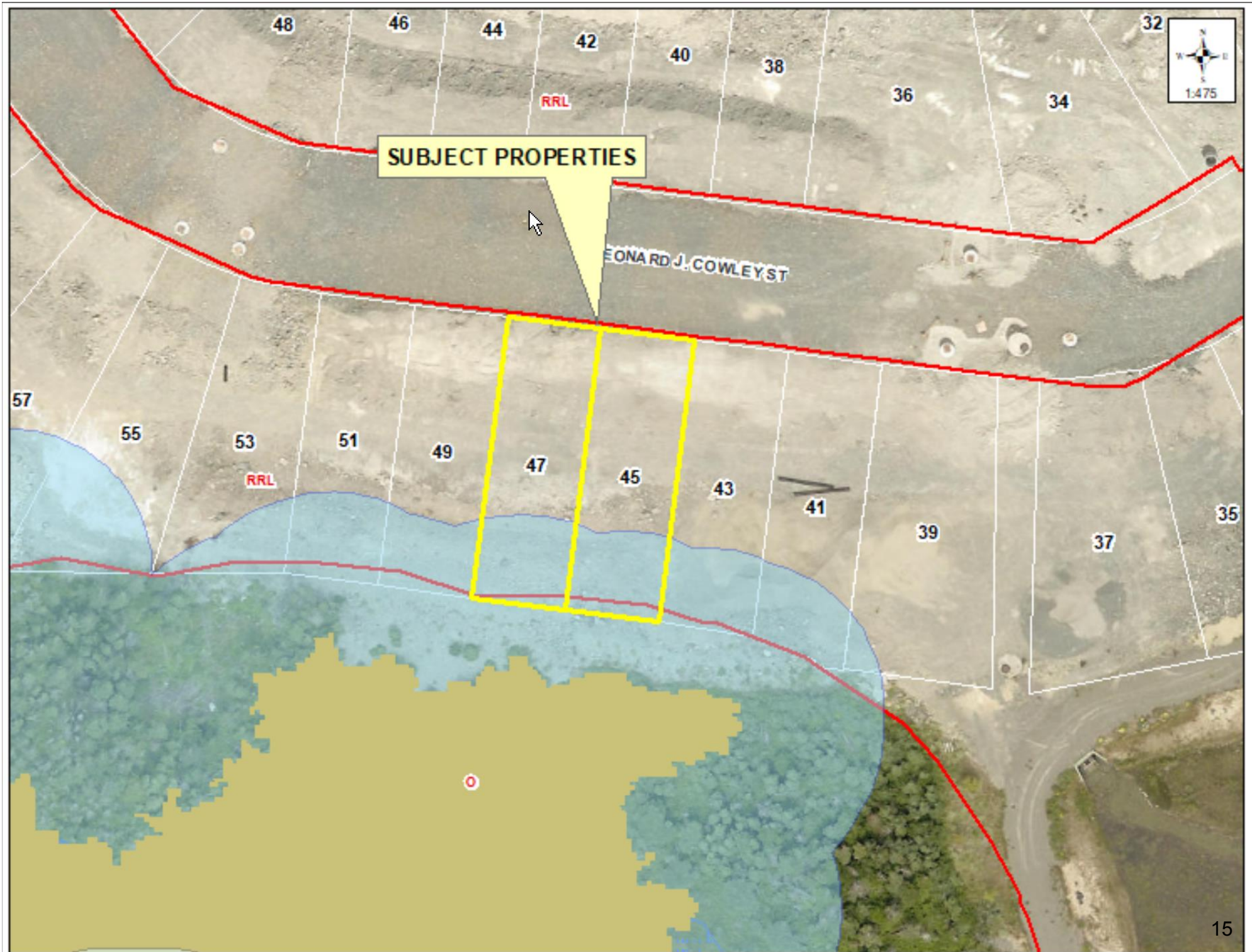
Document Title:	Development Committee - Decks in the Wetland Buffer – 45 and 49 Leonard J. Cowley Street – INT2400070, INT2400071.docx
Attachments:	- Aerial Map.pdf
Final Approval Date:	Aug 27, 2024

This report and all of its attachments were approved and signed as outlined below:

**Lindsay Lyghtle Brushett - Aug 27, 2024 - 2:56 PM**

**Jason Sinyard - Aug 27, 2024 - 3:13 PM**

# 45 & 47 Leonard J. Cowley Street



# DECISION/DIRECTION NOTE

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**Title:** Crown Land Grant - 179 Northern Pond Road - CRW2400012

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** Ward 5

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**Decision/Direction Required:**

To approve a Crown Land Grant for 179 Northern Pond Road.

**Discussion – Background and Current Status:**

The Provincial Department of Fisheries, Forestry and Agriculture has referred an application for a Crown Land Grant pursuant to an existing License to Occupy for land at 179 Northern Pond Road. The land is approximately 19.22 hectares and is zoned Open Space (O). The existing Recreational Use is a Permitted Use in the Zone and has held a License to Occupy since 1995. No new development is proposed with this application.

**Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Not applicable.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.

5. Alignment with Adopted Plans: **Envision St. John's Municipal Plan and Development Regulations.**
6. Accessibility and Inclusion: Not applicable.
7. Legal or Policy Implications: Not applicable.

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8. Privacy Implications: Not applicable.
9. Engagement and Communications Considerations: Not applicable.
10. Human Resource Implications: Not applicable.
11. Procurement Implications: Not applicable.
12. Information Technology Implications: Not applicable.
13. Other Implications: Not applicable.

**Recommendation:**

That Council approve the Crown Land Grant at 179 Northern Pond.

**Prepared by:**

Ashley Murray, P.Tech, Senior Development Officer  
Planning, Engineering and Regulatory Services

**Approved by:**

Jason Sinyard, P. Eng., MBA, Deputy City Manager  
Planning, Engineering and Regulatory Services

**Report Approval Details**

Document Title:	Development Committee- Crown Land Grant Pursuant at 179 Northern Pond Road - CRW2400012.docx
Attachments:	- E-160892 Crown Lands Map 7000.pdf
Final Approval Date:	Aug 27, 2024

This report and all of its attachments were approved and signed as outlined below:

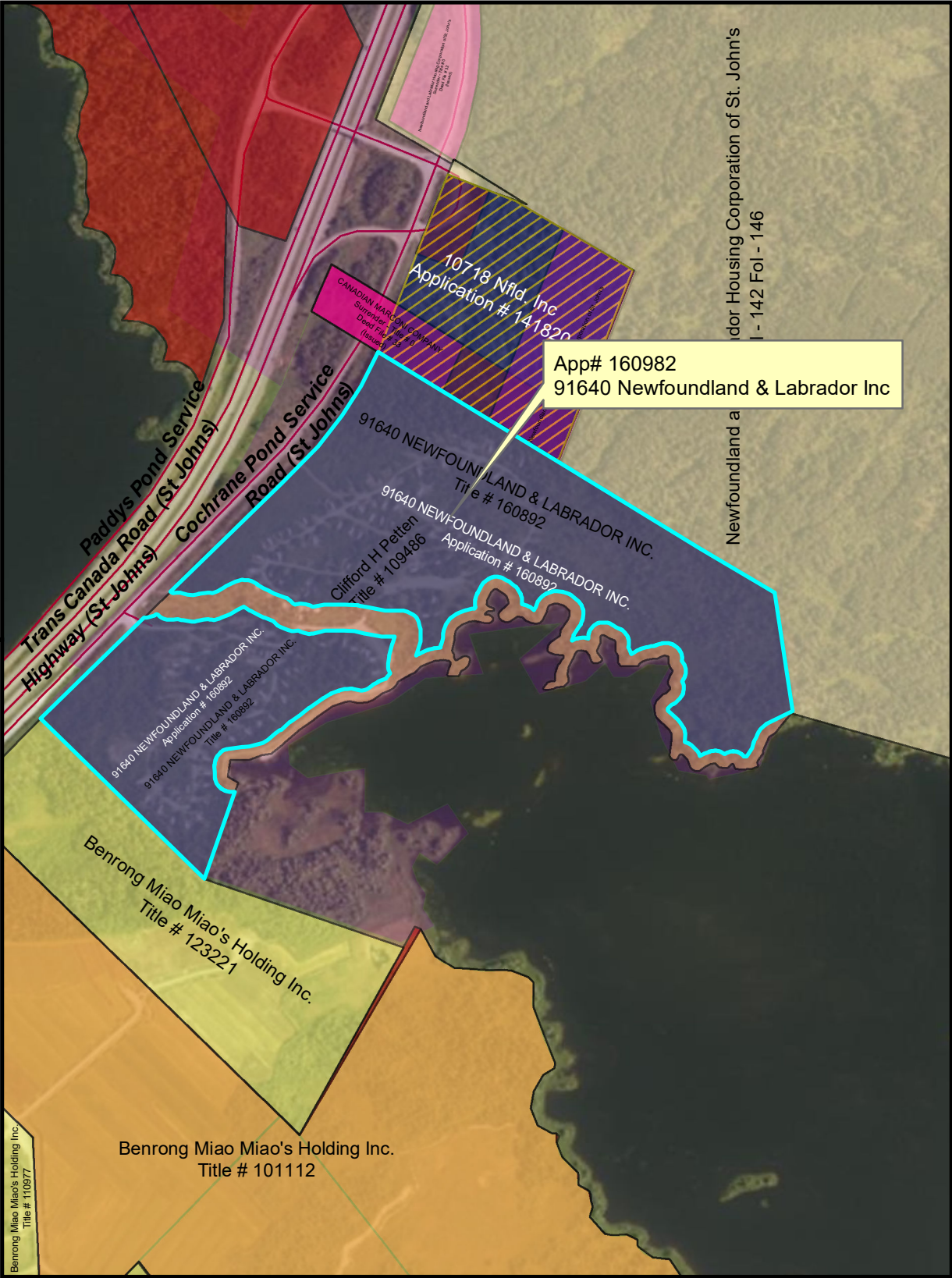
**Lindsay Lyghtle Brushett - Aug 27, 2024 - 3:11 PM**

**Jason Sinyard - Aug 27, 2024 - 3:17 PM**



# Department of Fisheries, Forestry and Agriculture

## Crown Lands Division



### NOTE TO USERS

The information on this map was compiled from land surveys registered in the Crown Lands Registry.

Since the Registry does not contain information on all land ownership within the Province, the information depicted cannot be considered complete.

The boundary lines shown are intended to be used as an index to land titles issued by the Crown. The accuracy of the plot is not sufficient for measurement purposes and does not guarantee title.

Users finding any errors or omissions on this map sheet are asked to contact the Crown Lands Inquiries Line by telephone at 1-833-891-3249 or by email at [CrownLandsInfo@gov.nl.ca](mailto:CrownLandsInfo@gov.nl.ca).

Some titles may not be plotted due to Crown Lands volumes missing from the Crown Lands registry or not plotted due to insufficient survey information.

The User hereby indemnifies and saves harmless the Minister, his officers, employees and agents from and against all claims, demands, liabilities, actions or cause of actions alleging any loss, injury, damages and matter (including claims or demands for any violation of copyright or intellectual property) arising out of any missing or incomplete Crown Land titles, and the Minister, his or her officers, employees and agents shall not be liable for any loss of profits or contracts or any other loss of any kind as a result.

For inquiries please contact the Crown Lands Inquiries Line by telephone at 1-833-891-3249 or by email at [CrownLandsInfo@gov.nl.ca](mailto:CrownLandsInfo@gov.nl.ca). Or visit the nearest Regional Lands Office; [http://www.flr.gov.nl.ca/departement/contact\\_land.html](http://www.flr.gov.nl.ca/departement/contact_land.html)



0 65 130 260 390 520 Meters



Scale 1:7,000  
Compiled on June 12, 2024

# DECISION/DIRECTION NOTE

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**Title:** Notices Published – 520 Main Road – DEV2400098

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** Ward 5

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**Decision/Direction Required:**

A Discretionary Use and change of Non-Conforming Use application has been submitted for 520 Main Road.

**Discussion – Background and Current Status:**

The proposed Home Occupation is a change from a Pet Grooming Salon to an Electrical Contractor Business. The hours of operation are Monday to Saturday, 7:00 a.m. to 6 p.m. and will employ 2 people. On-site parking is provided. The proposed new business will occupy the same floor area as the previous business (46.5m<sup>2</sup>), which is non-conforming in relation to the permitted size of a home occupation. Subject to Section 7.5.3(a) a Non-Conforming Development shall not be internally or externally varied, extended, or expanded without Council approval. The proposed application site is zoned Residential 1 (R1).

One submission was received that was in support of the application.

**Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Property owner and neighboring property owners.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.



5. Alignment with Adopted Plans: **Envision St. John's Municipal Plan and Development Regulations.**
6. Accessibility and Inclusion: Not applicable.
7. Legal or Policy Implications: **St. John's Development Regulations Section 6.21 "Home Occupation", Section 7.5 "Non-Conforming", Section 10.5 "Discretionary Use" and Section 10 "Residential 1 (R1) Zone".**
8. Privacy Implications: Not applicable.
9. Engagement and Communications Considerations: Public advertisement in accordance with **Section 4.8 Public Consultation of the St. John's Envision Development Regulations.** The City has sent written notices to property owners within a minimum 150-metre radius of the application site. The application has been advertised in The Telegram newspaper at least twice and is posted on the City's website. Written comments received by the Office of the City Clerk are included in the agenda for the regular meeting of Council.
10. Human Resource Implications: Not applicable.
11. Procurement Implications: Not applicable.
12. Information Technology Implications: Not applicable.
13. Other Implications: Not applicable.

**Recommendation:**

That Council approve the Discretionary Use and change of Non-Conforming use application at 520 Main Road to allow a Home Occupation for an Electrical Contractor Business that will occupy the same floor area as the previous business (46.5m<sup>2</sup>) which is non-conforming in relation to the permitted size for a home occupation.

**Prepared by:**

Lindsay Lyghtle Brushett, MCIP Supervisor – Planning & Development  
Planning, Engineering and Regulatory Services

**Approved by:**

Jason Sinyard, P.Eng, MBA Deputy City Manager  
Planning, Engineering and Regulatory Services

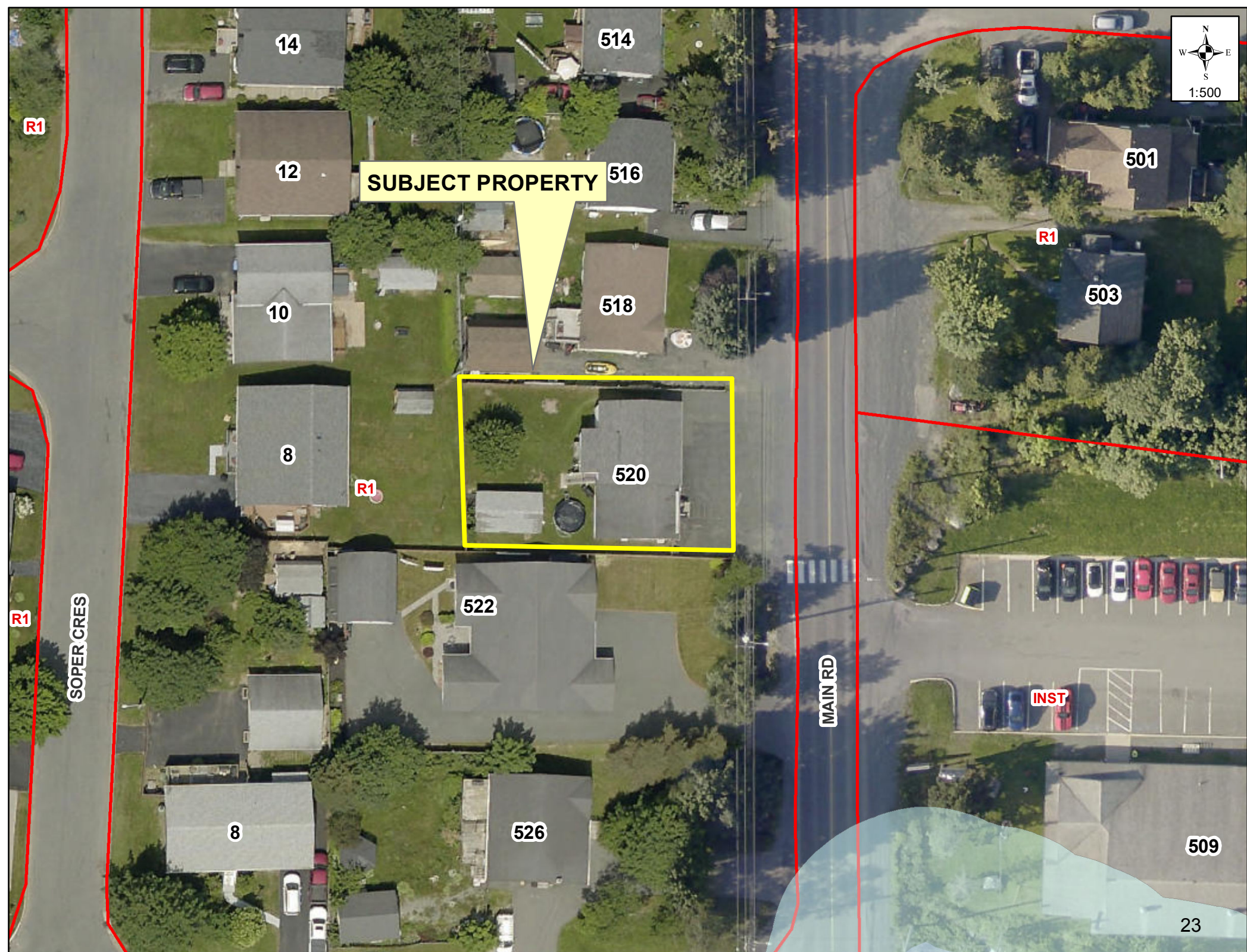
**Report Approval Details**

Document Title:	Notices Published - 520 Main Road.docx
Attachments:	- DEV2400098-520 MAIN ROAD.pdf
Final Approval Date:	Aug 27, 2024

This report and all of its attachments were approved and signed as outlined below:

**Lindsay Lyghtle Brushett - Aug 27, 2024 - 2:48 PM**

**Jason Sinyard - Aug 27, 2024 - 2:59 PM**



SUBJECT PROPERTY

14

514

12

516

10

518

8

520

522

526

501

503

509

23

R1

R1

R1

INST

SOPER CRES

MAIN RD

R1

8

**From:** [REDACTED]  
**To:** [CityClerk](#)  
**Subject:** 520 Main Rd - Goulds  
**Date:** Tuesday, August 13, 2024 6:33:45 PM

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You don't often get email from [REDACTED] [Learn why this is important](#)

**CAUTION:** This is an EXTERNAL email. Do not click on any link, open any attachments, or action a QR code unless you recognize the sender and have confirmed that the content is valid. If you are suspicious of the message use the **Report a Phish** button to report it.

Good evening,  
As a nearby resident of [REDACTED], I fully support the buildings use for the proposed Electrical Contractor Business.

Thank you,

[REDACTED]



# DECISION/DIRECTION NOTE

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**Title:** Notices Published – 7 Duke Street – DEV2400040

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** Ward 4

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**Decision/Direction Required:**

A Discretionary Use application has been submitted for 7 Duke Street.

**Discussion – Background and Current Status:**

The proposed application is a Home Occupation for retail sales of prepacked grocery items. The floor area will be approximately 42 m<sup>2</sup> and hours of operation will be Monday to Friday, 4 p.m. to 8 p.m. and Saturday to Sunday, 12 p.m. to 8 p.m. Orders will be placed online and picked up during hours of operation and there will be no on-site sales. Parking is available on-site. The proposed application site is zoned Residential 1 (R1).

One submission was received. The submission raised concern over the commercial nature of the proposal and associated traffic. The overall size and scale of the business is restricted due to its location within the home and helps limit the commercial impact on the residential neighbourhood. There are no associated traffic concerns with this proposal.

**Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Property owner and neighboring property owners.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.

---

# ST. JOHN'S

5. Alignment with Adopted Plans: **Envision St. John's Municipal Plan and Development Regulations**.
6. Accessibility and Inclusion: Not applicable.
7. Legal or Policy Implications: **St. John's Development Regulations Section 6.21 "Home Occupation", Section 10.5 "Discretionary Use" and Section 10 "Residential 1 (R1) Zone"**.
8. Privacy Implications: Not applicable.
9. Engagement and Communications Considerations: Public advertisement in accordance with **Section 4.8 Public Consultation of the St. John's Envision Development Regulations**. The City has sent written notices to property owners within a minimum 150-metre radius of the application site. The application has been advertised in The Telegram newspaper at least twice and is posted on the City's website. Written comments received by the Office of the City Clerk are included in the agenda for the regular meeting of Council.
10. Human Resource Implications: Not applicable.
11. Procurement Implications: Not applicable.
12. Information Technology Implications: Not applicable.
13. Other Implications: Not applicable.

**Recommendation:**

That Council approve the Discretionary Use application at 7 Duke Street to allow a Home Occupation for retail sales of prepacked grocery items.

**Prepared by:**

Lindsay Lyghtle Brushett, MCIP Supervisor – Planning & Development  
Planning, Engineering and Regulatory Services

**Approved by:**

Jason Sinyard, P.Eng, MBA Deputy City Manager  
Planning, Engineering and Regulatory Services

### Report Approval Details

Document Title:	Notices Published - 7 Duke Street.docx
Attachments:	- DEV2400040-7 DUKE STREET.pdf
Final Approval Date:	Aug 27, 2024

This report and all of its attachments were approved and signed as outlined below:

**Lindsay Lyghtle Brushett - Aug 27, 2024 - 2:53 PM**

**Jason Sinyard - Aug 27, 2024 - 3:02 PM**





**SUBJECT PROPERTY**

STEPHANO ST

DUKE ST

21

R1

11

12

10

12

R1

8

10

6

R1

8

4

7

5

6

3

4

98

R1

28



**From:** [REDACTED]  
**To:** [CityClerk](#)  
**Subject:** 7 Duke Street: Home Occupation for retail sales of prepacked grocery items  
**Date:** Tuesday, August 13, 2024 1:36:45 PM

---

[REDACTED]

CAUTION: This is an EXTERNAL email. Do not click on any link, open any attachments, or action a QR code unless you recognize the sender and have confirmed that the content is valid. If you are suspicious of the message use the Report a Phish button to report it.

Office of the City Clerk  
To: City of St. John's

From: [REDACTED]

We live in a "Neighbourhood", opening it up to any business that is Not in a designated Commercial area opens the door to misuse

This application re: 7 Duke Street, Will cause much more vehicle traffic in an already busy area, intersection with Great Eastern Avenue. This intersection also caters to the City Bus Route, with much pedestrian traffic.

I vote NO! to this application

Sent from my iPad

# DECISION/DIRECTION NOTE

**Title:** Request to Establish the Building Line Setback – 238 Portugal Cove Road – SUB2400046

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** Ward 1

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**Decision/Direction Required:**

To seek approval to establish the Building Line Setback for 2 Lots to allow the subdivision of 238 Portugal Cove Road.

**Discussion – Background and Current Status:**

An application was submitted to subdivide 238 Portugal Cove Road into 2 Lots. Due to the pie shape of the proposed Lots on the cul-de-sac, the minimum Lot Frontage requirement of 15 metres cannot be met, which is measured at the 6 metre Building Line setback in the Residential 1 (R1) Zone.

As per **Section 7.2.1(a)** of the **Envision St. John's Development Regulations**, Council shall have the power to establish or re-establish the Building Line for any Street, or for any Lot Situate thereon, at any point or place that Council deems appropriate. The minimum 15 metre Frontage requirement can be met at the proposed setback of 7.7 metres and 8.33 metres, and the setback is consistent with the development pattern of other properties on the street.

**Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Not applicable.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.

# ST. JOHN'S

5. Alignment with Adopted Plans: **Envision St. John's Municipal Plan and Development Regulations.**
6. Accessibility and Inclusion: Not applicable.
7. Legal or Policy Implications: **Envision St. John's Development Regulations Section 7.2.1 (a) "Building Lines -Yards" and Section 10 "Residential 1 (R1) Zone.**
8. Privacy Implications: Not applicable.
9. Engagement and Communications Considerations: Not applicable.
10. Human Resource Implications: Not applicable.
11. Procurement Implications: Not applicable.
12. Information Technology Implications: Not applicable.
13. Other Implications: Not applicable.

**Recommendation:**

That Council approve a Building Line setback at 7.7m metre and 8.33 metre to accommodate the subdivide of 238 Portugal Cove Road into 2 Building Lots.

**Prepared by:**

Andrea Roberts P.Tech – Senior Development Officer  
Planning, Engineering and Regulatory Services

**Approved by:**

Jason Sinyard, P. Eng., MBA, Deputy City Manager-  
Planning, Engineering and Regulatory Services

**Report Approval Details**

Document Title:	Development Committee - Request to Re-Establish the Building Line Setback – 238 Portugal Cove Road – SUB2400046.docx
Attachments:	- 238 PORTUGAL COVE ROAD.pdf - Subdivision Plan.pdf
Final Approval Date:	Aug 28, 2024

This report and all of its attachments were approved and signed as outlined below:

**Lindsay Lyghtle Brushett - Aug 28, 2024 - 12:55 PM**

**Jason Sinyard - Aug 28, 2024 - 1:36 PM**





SUBJECT PROPERTY





## NAD 83



# DECISION/DIRECTION NOTE

**Title:** Accessory Building in the Watershed (Town of Portugal Cove- St. Phillip's) – 62 Kings Hill Road – INT2400069

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Carl Ridgeley, Development

**Ward:** N/A

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## **Decision/Direction Required:**

That Council reject the proposed Accessory Building in the Watershed at 62 Kings Hill Road, Town of Portugal Cove- St. Phillip's.

## **Discussion – Background and Current Status:**

The Town of Portugal Cove-St. Philip's referred an application to construct an Accessory Building of approximately 131 square metres at 62 King's Hill Road. The property is within the Broad Cove Watershed.

**Section 104 (4)(a)** of the **City of St. John's Act** states that Council may permit an Accessory Building to an existing private family dwelling. The size requirement as outlined within the St. John's - Paradise Watershed Agreement states only one (1) Accessory Building for a residential use to a maximum floor area of forty-five (45) square meters be considered within the Watershed. This policy is applied to all adjacent municipalities for equity purposes.

## **Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Not applicable.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

Choose an item.

# ST. JOHN'S

5. Alignment with Adopted Plans: Not applicable.
6. Accessibility and Inclusion: Not applicable.
7. Legal or Policy Implications: **City of St. John's Act Section 104**
8. Privacy Implications: Not applicable.
9. Engagement and Communications Considerations: Not applicable.
10. Human Resource Implications: Not applicable.
11. Procurement Implications: Not applicable.
12. Information Technology Implications: Not applicable.
13. Other Implications: Not applicable.

**Recommendation:**

That Council reject the proposed Accessory Building in the Watershed at 62 Kings Hill Road, Town of Portugal Cove-St. Philip's, as the proposed Accessory Building exceeds the allowable 45 square meters.

**Prepared by:**

Ashley Murray, P. Tech, Senior Development Officer  
Planning, Engineering & Regulatory Services

**Approved by:**

Jason Sinyard, P. Eng., MBA, Deputy City Manager  
Planning, Engineering & Regulatory Services



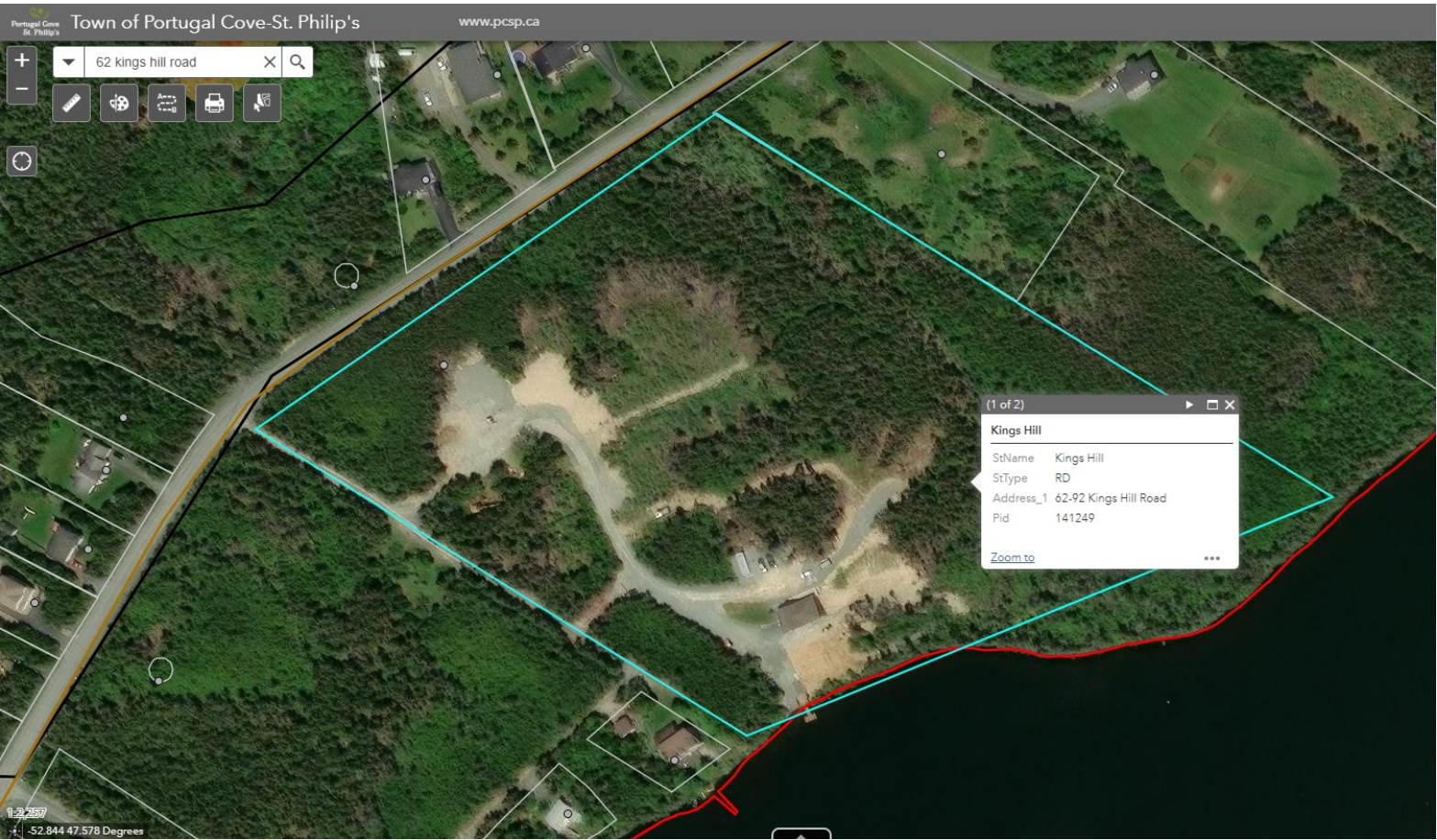
**Report Approval Details**

Document Title:	Accessory Building in Watershed (Town of Portugal Cove - St. Phillip's) - 62 Kings Hill Road- INT2400069.docx
Attachments:	- LocationMap.jpg
Final Approval Date:	Aug 29, 2024

This report and all of its attachments were approved and signed as outlined below:

**Lindsay Lyghtle Brushett - Aug 29, 2024 - 9:51 AM**

**Jason Sinyard - Aug 29, 2024 - 1:11 PM**



## Development Permits List For August 15 to August 28, 2024

Code	Applicant	Application	Location	Ward	Development Officer's Decision	Date
RES	Stella's Circle Community Services Inc.	Building Extension & Site Redevelopment for Lodging House	55 Military Road	2	Approved	2024-08-21
RES		Subdivide/ Consolidation of Land Only	64 & 66 Cochrane Street	2	Approved	2024-08-22
RES		Demo/Rebuild on Non-conforming Lot	22 Belfast Street	4	Approved	24-08-22
RES		Subdivision for Single Detached Dwelling	60 Cuckhold's Cove Road	2	Approved	24-08-27
RES/ AG		Subdivide to create Lot & Development Approval	31 & 33-37 Cochrane Pond Road	5	Approved	2024-08-28
RES		Demo/Rebuild for Single Family Dwelling	1395 Blackhead Road	5	Approved	24-08-28

**\* Code Classification:**

RES - Residential	INST - Institutional
COM - Commercial	IND - Industrial
AG - Agriculture	
OT - Other	

**\*\* This list is issued for information purposes only. Applicants have been advised in writing of the Development Officer's decision and of their right to appeal any decision to the St. John's Local Board of Appeal.**

**Lindsay Lyghtle Brushett, MCIP**  
**Supervisor – Planning & Development**

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# Permits List

## Council's September 3, 2024 Regular Meeting

Permits Issued: 2024/08/15 to 2024/08/28

### **BUILDING PERMITS ISSUED**

<b>Residential</b>		
<b>Location</b>	<b>Permit Type</b>	<b>Structure Type</b>
10 Cheyne Dr	Renovations	Single Detached Dwelling
10 Seminole Dr	Deck	Patio Deck
100 Maurice Putt Cres	Renovations	Single Detached Dwelling
106 Old Pennywell Rd	Change of Occupancy	Single Detached Dwelling
11 Cedar Hill Pl Unit 103	Renovations	Apartment Building
11 Raleigh St	Renovations	Semi Detached Dwelling
113 Highland Dr	Renovations	Single Detached Dwelling
12 Cherrybark Cres	Accessory Building	Accessory Building
12 Huntingdale Dr	Deck	Patio Deck
12 Surrey Pl	Deck	Patio Deck
121 Elizabeth Ave	Renovations	Single Detached w/ apt.
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
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14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
14-20 Janeway Pl	New Construction	Apartment Building
142b Old Pennywell Rd	Site Work	Townhousing
15 Boggy Hall Pl	Fence	Fence
154 Diamond Marsh Dr	Accessory Building	Accessory Building
154 Patrick St	Renovations	Single Detached w/ apt.
158 Patrick St	Renovations	Single Detached Dwelling
16 Aylward Pl	Change of Occupancy	Single Detached w/ apt.
16 Brennan Field	Accessory Building	Accessory Building
19 Emerson St	Extension	Single Detached Dwelling
19 Mount Cashel Rd	Accessory Building	Accessory Building
2 Prestwick Pl	Accessory Building	Accessory Building
20 Borden St	Accessory Building	Accessory Building
22 Goodridge St	Renovations	Single Detached Dwelling
23 Gower St	Renovations	Townhousing
23 Riverside Dr W	Accessory Building	Accessory Building
269 Anspach St	Renovations	Single Detached Dwelling
27 Gower St	Renovations	Townhousing
3 Empire Ave	Renovations	Single Detached Dwelling
30 Claddagh Rd	Accessory Building	Accessory Building
31 Green Acre Dr	Deck	Patio Deck
33 Sir Wilfred Grenfell Pl	New Construction	Single Detached w/ apt.
35 Navajo Pl	Accessory Building	Accessory Building
35 Navajo Pl	Fence	Fence

37 Pepperwood Dr	Accessory Building	Accessory Building
38 Gallipoli St	Site Work	Swimming Pool/Hot Tub
4 Electra Dr	Fence	Fence
4 Halliday Pl	Accessory Building	Accessory Building
4 Vancouver St	Fence	Fence
4 Vancouver St	Deck	Patio Deck
40 Cedar Hill Pl	Fence	Fence
40 Cedar Hill Pl	Fence	Fence
40 Dragonfly Pl	New Construction	Single Detached Dwelling
40 Leonard J. Cowley St	Fence	Fence
41 Autumn Dr	Deck	Patio Deck
42 Jensen Camp Rd	New Construction	Single Detached w/ apt.
43 Cape Pine St	Accessory Building	Accessory Building
44 Jensen Camp Rd	New Construction	Single Detached w/ apt.
44 Mackenzie St	Site Work	Driveway
45 Bay Bulls Rd	Fence	Fence
45 Castle Bridge Dr	Deck	Patio Deck
45 Keith Dr	Renovations	Single Detached Dwelling
46 Cedar Hill Pl	Accessory Building	Accessory Building
46 Jensen Camp Rd	New Construction	Single Detached w/ apt.
46 Pepperwood Dr	Change of Occupancy/Renovations	Subsidiary Apartment
47 Leonard J. Cowley St	Renovations	Single Detached Dwelling
47 Sir Wilfred Grenfell Pl	New Construction	Single Detached w/ apt.
48 Jensen Camp Rd	New Construction	Single Detached w/ apt.
49 Henry Larsen St	Fence	Fence
53 Gairlock St	Fence	Fence
53 Greenspond Dr	Fence	Fence
53 Leonard J. Cowley St	Renovations	Single Detached Dwelling
63 Sugar Pine Cres	Fence	Fence
66 Pepperwood Dr	New Construction	Single Detached Dwelling
68 Beaumont St	Fence	Fence
70 Beaumont St	Fence	Fence
72 Beaumont St	New Construction	Townhousing
72 Smithville Cres	Renovations	Single Detached w/ apt.
79 Branscombe St	Site Work	Swimming Pool/Hot Tub
79 Rennie's Mill Rd	Renovations	Mixed Use



82 Edison Pl	Site Work	Semi Detached Dwelling
82 Greenspond Dr	Deck	Patio Deck
84 Diamond Marsh Dr	Accessory Building	Accessory Building
84 Diamond Marsh Dr	Fence	Fence
84 Melville Pl	Renovations	Single Detached Dwelling
85 Maurice Putt Cres	Accessory Building	Accessory Building
93 Barnes Rd	Renovations	Single Detached Dwelling
97 Cabot St	Fence	Fence

This Week: \$4,243,912.00

### Commercial

Location	Permit Type	Structure Type
10 Pearl Pl	Site Work	Parking
10 Pearl Pl	Site Work	Retaining Walls
101 Torbay Rd	Accessory Building	Accessory Building
141 Torbay Rd	Sign	Restaurant
145 Aberdeen Ave	Sign	Clinic
201-203 Blackmarsh Rd	Sign	Restaurant
227 Empire Ave	Change of Occupancy	Mixed Use
265 Lemarchant Rd	Accessory Building	Accessory Building
278 Kenmount Rd	Change of Occupancy/Renovations	Retail Store
280 Water St	Renovations	Retail Store
31 Queen's Rd	Renovations	Townhousing
460 Topsail Rd	Sign	Take Out Food Service
48 Kenmount Rd	Change of Occupancy/Renovations	Retail Store
5 Nagle's Pl	Fence	Fence
520 Topsail Rd	Renovations	Restaurant
710 Torbay Rd	Change of Occupancy	Eating Establishment
720 Water St	Sign	Restaurant
80 Hebron Way	Change of Occupancy/Renovations	Hotel

This Week: \$1,513,612.56

	<b>Government/Institutional</b>		
<b>Location</b>	<b>Permit Type</b>	<b>Structure Type</b>	
			This Week: \$0.00

	<b>Industrial</b>		
<b>Location</b>	<b>Permit Type</b>	<b>Structure Type</b>	
			This Week: \$0.00

	<b>Demolition</b>		
<b>Location</b>	<b>Permit Type</b>	<b>Structure Type</b>	
23 Aldershot St	Demolition	Semi Detached Dwelling	
			This Week: \$4,000.00
		<b>This Week's Total:</b>	<b>\$5,761,524.56</b>

<b><u>REPAIR PERMITS ISSUED:</u></b>	<b>\$1,000.00</b>
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**NO REJECTIONS**

YEAR TO DATE COMPARISONS			
September 3, 2024			
TYPE	2023	2024	% Variance (+/-)
Residential	\$57,109,291.65	\$85,629,707.17	50
Commercial	\$65,321,056.71	\$90,160,984.95	38
Government/Institutional	\$5,345,259.99	\$40,095,071.00	650
Industrial	\$190,000.00	\$5,000,000.00	2532
Repairs	\$1,135,310.98	\$842,416.11	-26
<b>TOTAL</b>	<b>\$129,100,919.33</b>	<b>\$221,728,179.23</b>	72
Housing Units (1 & 2 Family Dwelling)	127	156	

Respectfully Submitted,

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Jason Sinyard, P.Eng., MBA  
Deputy City Manager  
Planning, Engineering and Regulatory Services

# MEMORANDUM

## **Weekly Payment Vouchers For The Weeks Ending August 21 and August 28, 2024**

### **Payroll**

<b>Public Works (Week 1)</b>	<b>\$ 514,020.44</b>
<b>Bi-Weekly Casual (Week 1)</b>	<b>\$ 135,486.50</b>
<b>Public Works (Week 2)</b>	<b>\$ 510,018.51</b>
<b>Bi-Weekly Administration (Week 2)</b>	<b>\$ 982,676.11</b>
<b>Bi-Weekly Management</b>	<b>\$ 995,601.44</b>
<b>Bi-Weekly Fire Department</b>	<b>\$ 1,003,321.08</b>
<b>Accounts Payable</b>	<b>\$ 6,936,050.09</b>

*(A detailed breakdown [here](#))*

**Total: \$ 11,077,174.17**

# ST. JOHN'S

DEPARTMENT OF FINANCE

CITY OF ST. JOHN'S PO BOX 908 ST. JOHN'S NL CANADA A1C 5M2 WWW.STJOHNS.CA

Monthly Purchasing Awards Greater than \$100,000.00 Report

Project Name	Project #	Award Total	Source Awarded	Awarded Supplier(s)	Completed Submissions List	Contract Term	Department	Procurement Type
Building Codes Energy Performance Tiers Pathways	2024080	\$ 167,576.00	August 01, 2024	Sustainability Solutions Group Workers Cooperative	Sustainability Solutions Group Workers Cooperative; Fundamental Inc.; Delphi	1 year + 1	PUBLIC WORKS	Limited Call

# DECISION/DIRECTION NOTE

**Title:** Access to Information and Protection of Privacy Act, 2015 – Designation of “Head of the Public Body” and “Coordinator”

**Date Prepared:** August 29, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Mayor Danny Breen, Governance & Strategic Priorities

**Ward:** N/A

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**Decision/Direction Required:** Seeking approval from Council to designate the City Manager as “Head of the Public Body” and the Access and Privacy Analyst(s) as “Coordinator” in accordance with the Access to Information and Protection of Privacy Act, 2015 (the “Act”).

**Discussion – Background and Current Status:**

The Access and Privacy division has recently transferred to the Legal Department from the Office of the City Clerk. Therefore, there is a need to change the Head of the Public Body designated under the Act to the City Manager. There was also no designation of the Privacy Analyst position as the official coordinator when that position was created.

The Act requires the following:

*Designation of head by local public body*

109. (1) A local public body shall, by by-law, resolution or other instrument, designate a person or group of persons as the head of the local public body for the purpose of this Act, and once designated, the local public body shall advise the minister responsible for this Act of the designation.
- (2) A local government body or group of local government bodies shall
- (a) by by-law, resolution or other instrument, designate a person or group of persons, for the purpose of this Act, as the head of an unincorporated entity owned by or created for the local government body or group of local government bodies; and
  - (b) advise the minister responsible for this Act of the designation.

*Designation and delegation by the head of a public body*

110. (1) The head of a public body shall designate a person on the staff of the public body as the coordinator to
- (a) receive and process requests made under this Act;
  - (b) co-ordinate responses to requests for approval by the head of the public body;
  - (c) communicate, on behalf of the public body, with applicants and third parties to requests throughout the process including the final response;

# ST. JOHN'S



- (d) educate staff of the public body about the applicable provisions of this Act;*
  - (e) track requests made under this Act and the outcome of the request;*
  - (f) prepare statistical reports on requests for the head of the public body; and*
  - (g) carry out other duties as may be assigned.*
- (2) The head of a public body may delegate to a person on the staff of the public body a duty or power of the head under this Act.*

### **Key Considerations/Implications:**

1. Budget/Financial Implications: n/a
2. Partners or Other Stakeholders: Access to Information and Protection of Privacy Office, Government of Newfoundland and Labrador and the Office of the Information and Privacy Commissioner.
3. Is this a New Plan or Strategy: No
 

If yes, are there recommendations or actions that require progress reporting?

If yes, how will progress be reported? (e.g.: through the strategic plan, through Cascade, annual update to Council, etc.)
4. Alignment with Strategic Directions:
 

An Effective City: Ensure accountability and good governance through transparent and open decision making.

Choose an item.
5. Alignment with Adopted Plans: n/a
6. Accessibility and Inclusion: n/a
7. Legal or Policy Implications: The Privacy Management Policy and Procedures should be updated to reflect the changes should they be adopted by Council.
8. Privacy Implications: n/a
9. Engagement and Communications Considerations: n/a
10. Human Resource Implications: n/a
11. Procurement Implications: n/a

12. Information Technology Implications: n/a

13. Other Implications: n/a

**Recommendation:**

It is recommended that the position of City Manager be designated as the Head of the Public Body and the position of Access and Privacy Analyst be designated as the Coordinator in accordance with the Act.

**Prepared by:** Kenessa Windsor, Access and Privacy Analyst

**Approved by:** Cheryl Mullett, City Solicitor

# DECISION/DIRECTION NOTE

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**Title:** Demolition of Building – 4 Rowan Street

**Date Prepared:** August 21, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Sandy Hickman, Transportation and Regulatory Services

**Ward:** Ward 4

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## **Decision/Direction Required:**

For consideration of council to grant a Demolition Order for 4 Rowan Street.

## **Discussion – Background and Current Status:**

The building situated at 4 Rowan Street sustained significant damage due to a partial building collapse in April 2024. As a result, the dwelling is unfit for habitation.

Considering the sensitive nature of the matter, staff of Inspection Services have been working closely with the owner(s) to explore a satisfactory resolution but to date there has been no positive outcome. It is understood that a price to demolish was provided to the owner(s) by a private contractor upon their request, but no action was taken to complete the demolition. Subsequently, a notice was issued to the property owner(s) in June 2024 to have the property demolished but it has not been complied with.

Although the site is secured, there is growing concern that there may be further collapse of this structure thus creating additional hazards.

Considering the current condition of the property and further potential hazards it is recommended that the property be demolished.

**Key Considerations/Implications:****1. Budget/Financial Implications:**

Should the City proceed with the order and if it is not complied with, a tender document will be developed for the demolition of the property. The cost associated with this demolition will be applied to the subject property in the form of a lien.

**2. Partners or Other Stakeholders: N/A****3. Is this a New Plan or Strategy: No**

If yes, are there recommendations or actions that require progress reporting?

If yes, how will progress be reported? (e.g.: through the strategic plan, through Cascade, annual update to Council, etc.)

**4. Alignment with Strategic Directions: N/A**

Choose an item.

Choose an item.

5. Alignment with Adopted Plans: N/A
6. Accessibility and Inclusion: N/A
4. Legal or Policy Implications: N/A
5. Privacy Implications: N/A
6. Engagement and Communications Considerations: N/A
7. Human Resource Implications: N/A
8. Procurement Implications: Tender document will need to be completed as per the procurement regulations if the order is not complied with.
9. Information Technology Implications: N/A
10. Other Implications: N/A

**Recommendation:**

That Council grant the Demolition Order of 4 Rowan Street as requested.

**Prepared by:**

Randy Carew, CET – Manager – Regulatory Services

Signature: \_\_\_\_\_

**Approved by:**

Jason Sinyard, P. Eng., MBA – Deputy City Manager – Planning, Engineering & Regulatory Services

Signature: \_\_\_\_\_

**Report Approval Details**

Document Title:	Demolition Order - 4 Rowan Street.docx
Attachments:	
Final Approval Date:	Aug 27, 2024

This report and all of its attachments were approved and signed as outlined below:

**Jason Sinyard - Aug 27, 2024 - 2:35 PM**



# DECISION/DIRECTION NOTE

**Title:** 188 New Pennywell Road – Adoption – REZ2200005

**Date Prepared:** August 28, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Tom Davis, Planning

**Ward:** Ward 4

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## **Decision/Direction Required:**

Following provincial release of the proposed amendments for 188 New Pennywell Road, Council may now adopt Envision St. John's Municipal Plan Amendment Number 14, 2024 and Envision St. John's Development Regulations Amendment Number 40, 2024, and proceed to a commissioner's public hearing.

## **Discussion – Background and Current Status:**

The City has received an application from Nidus Development Inc. to rezone property at 188 New Pennywell Road from the Residential 1 (R1) and Rural (RUR) Zones to the Residential 2 Cluster (R2C) Zone to accommodate a Townhouse Cluster development. A Municipal Plan amendment is required to re-designate land at the rear of the property from the Rural District to the Residential District.

At its regular meeting on July 25, 2022, Council voted to proceed with the proposed amendments and set the terms of reference for a Land Use Report (LUR). The directive was updated on March 19, 2024 to include land at the rear of the property in the Rural (RUR) Zone. The proposed amendments were advertised on four occasions in *The Telegram* newspaper as well as on the City's website, and a project page was created on the Planning Engage page. Submissions received are included for Council's review. A summary of the submissions is found in the attached amendment.

The NL Department of Municipal and Provincial Affairs has reviewed and released the amendments. The next step is to adopt them. Should Council decide to adopt the amendments, a public hearing is required. The tentative date is Wednesday, September 25, at 7 p.m. at City Hall. This will be a hybrid public hearing; attendees will have the option to attend via Zoom. It is recommended that Council appoint Cliff Johnston, MCIP, a member of the City's commissioner list, to conduct the hearing. If no submissions are received by two days prior to the hearing, Council may cancel it.

Following the hearing, the amendments will be brought back to Council with the commissioner's report for consideration of approval.

# ST. JOHN'S

**Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Neighbouring residents and property owners.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

A Sustainable City: Facilitate and create the conditions that drive the economy by being business and industry friendly; and being a location of choice for residents, businesses and visitors.

5. Alignment with Adopted Plans: Envision St. John's Municipal Plan and Development Regulations
6. Accessibility and Inclusion: Not applicable.
4. Legal or Policy Implications: A Municipal Plan and Development Regulations map amendment is required to consider the proposed development.
5. Privacy Implications: Not applicable.
6. Engagement and Communications Considerations: The public hearing will be advertised in accordance with the Development Regulations.
7. Human Resource Implications: Not applicable.
8. Procurement Implications: Not applicable.
9. Information Technology Implications: Not applicable.
10. Other Implications: Not applicable.

**Recommendation:**

That Council adopt the attached resolutions for Envision St. John's Municipal Plan Amendment Number 14, 2024 and Envision St. John's Development Regulations Amendment Number 40, 2024, and appoint Cliff Johnston, MCIP, as commissioner for a public hearing on Wednesday, September 25, 2024, at 7 p.m. at St. John's City Hall.

**Prepared by: Ann-Marie Cashin, MCIP, Planner III**

**Approved by: Ken O'Brien, MCIP, Chief Municipal Planner**



**Report Approval Details**

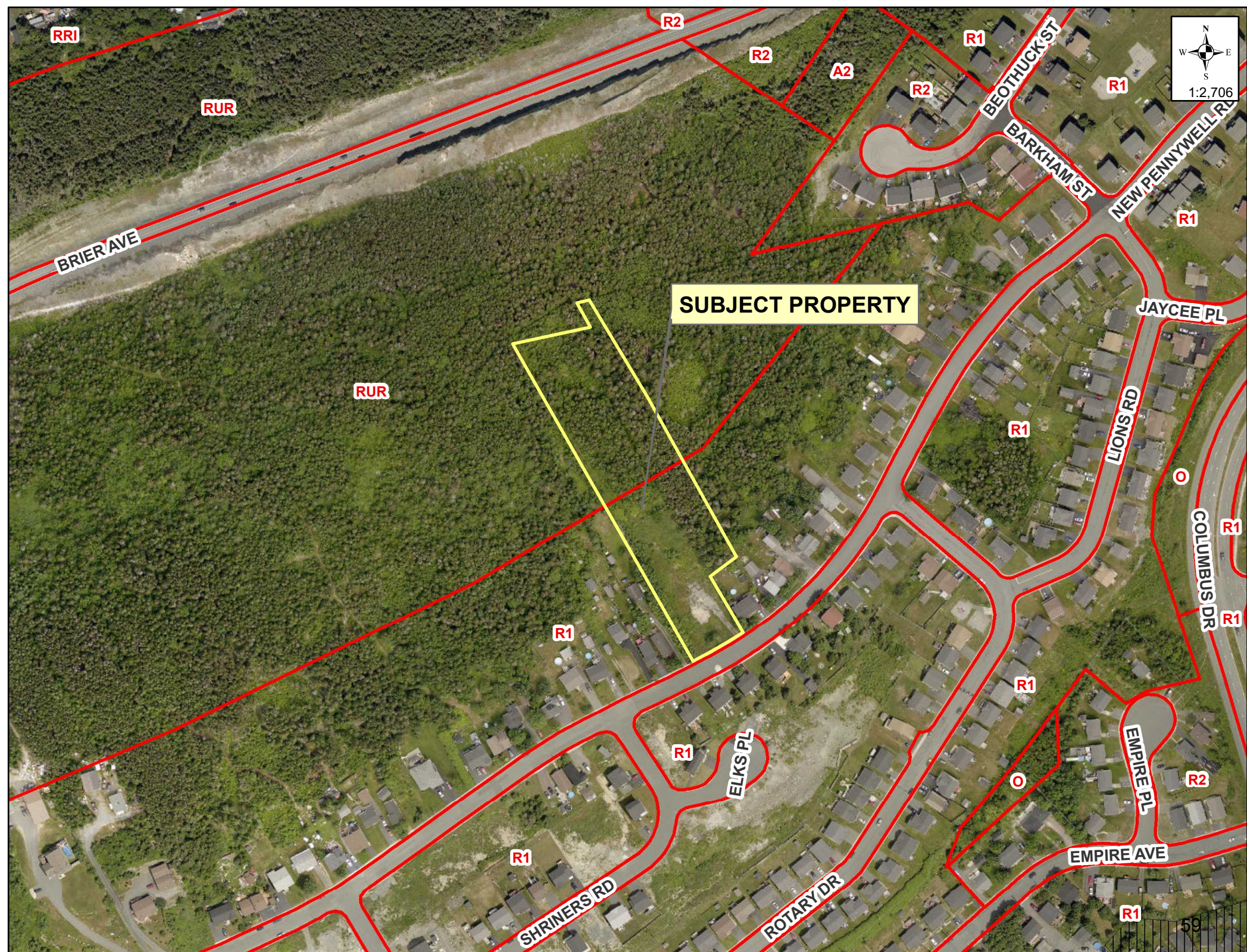
Document Title:	188 New Pennywell Road - Adoption - REZ2200005.docx
Attachments:	- 188 New Pennywell Road - Updated Aerial .pdf - 188 New Pennywell Road - Draft LUR - For website.pdf - MP Amend No. 14 and DR No. 40, 2024 - 188 New Pennywell Road - MAP (amc).pdf
Final Approval Date:	Aug 29, 2024

This report and all of its attachments were approved and signed as outlined below:

**Ken O'Brien - Aug 28, 2024 - 4:39 PM**

**Jason Sinyard - Aug 29, 2024 - 9:32 AM**







# LAND USE REPORT ( LUR)

## **NIDUS DEVELOPMENT INC. AFFORDABLE HOUSING DEVELOPMENT**

188 NEW PENNYWELL ROAD. ST. JOHN'S, NL

April 15, 2024



**LUR prepared by Nidus Development Inc. in consultation with  
William Doyle & Associates Limited  
HW Architecture  
Stage Zero Consulting  
NIDUS DEVELOPMENT INC.AFFORDABLE HOUSING DEVELOPMENT  
LAND USE REPORT (LUR) 2024**



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- G. SNOW CLEARING/SNOW STORAGE
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- I. MUNICIPAL SERVICES
- J. PUBLIC TRANSIT
- K. CONSTRUCTION TIMEFRAME

### TERMS OF REFERENCE ( FROM CITY)

### ATTACHMENTS

1. CURRENT SURVEY OF 188 NEW PENNYWELL ROAD DATED OCTOBER 30, 2023 AND LAND UNDER QUIETING OF TITLE
2. CURRENT SURVEY OF LAND TO BE ACQUIRED FROM THE CITY OF ST JOHNS DATED OCTOBER 30, 2023
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### PROPOSED ELEVATION RIGHT SIDE/LEFT SIDE ARCHITECTURAL DRAWING

6. A-2.1 PROPOSED FLOOR PLAN ARCHITECTURAL DRAWING
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8. C-01 CONCEPT SITE PLAN
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## INTRODUCTION

This report assesses the suitability of a proposed affordable residential development located at 188 New Pennywell Road with a focus on our aging population. The development will consist of four buildings with 8 one-bedroom units in each. It evaluates land use implications considering zoning compatibility, urban design, infrastructure capacity, environmental impact, and community services.

The Proposed site for a 32 unit seniors residential development is designed to meet the increasing demand for age-appropriate housing. This development initiative falls within the City's and the Provinces strategic objective to provide diverse housing options for its aging population.

With the aging population, there is a demonstrated need for senior-specific housing that supports independent living within the community. The development is located within proximity to healthcare services, shopping, and recreational facilities, enhancing the quality of life for future residents. The development also supports aging in place, reducing the demand on more intensive forms of Senior care.

The proposed seniors development at 188 New Pennywell Road offers a valuable addition to the housing options for seniors in St. John's. With careful adherence to city by-laws, environmental sustainability, and community integration, the development can positively contribute to the city's socio-economic fabric.

## A. PUBLIC CONSULTATION

### IN PERSON CANVASSING

One of the Project Managers for the development, Brian Hanley, canvassed the area January 29, 2024 and had the opportunity to speak with several residents in adjacent homes surrounding the development area. No concerns were identified with those whom he had an opportunity to speak with and information about the development with artistic drawings attached were left at the properties of home owners/occupants with phone numbers for them to contact himself or the development owner, Greg Hanley, should they have any concerns or questions they might need to be addressed.

Homes on New Pennywell Road within close proximity to the development were approached for feedback. Owners/Resident names and exact addresses will not be listed due to privacy concerns in this LUR)

Comments received Included:

16X-Greatly needed! Are they for sale and can I buy one?

18X-wonderful project, well needed

18X-have no concern

18X-in favor of development/no concerns

18X-info pkg left

18X-info pkg left

19X-info pkg left

19X-info pkg left

20X-info pkg left

20X-info pkg left

21X-info pkg left

21X-these are needed in our city, we have no concerns

22X-in favor, thinks it will be a great fit for the area

23X-has no comments or concerns

## B. BUILDING USE

### Building size and Use

**Building Archetype:** The Senior Affordable Housing Project will consist of Four individual buildings, each housing eight one bedroom units. They will be bungalow style attached row houses in blocks of 8 units in each building.

Buildings will be slab on grade.

All units are 1 bedroom and will be for residential use.

Lot coverage size per cluster is 449<sup>M2</sup> with each one bedroom unit in size approximately 55.76<sup>M2</sup>

**Accessibility and Universal Design Features:** All door openings are to be 36" with lever handles and have a 110v outlet and blocking over the door to accommodate for future openers if needed. The flow of each unit allows for needed turning radius if required. The units are to be constructed slab on grade to accommodate for roll in entry doors, lever style handles throughout, rocker style switches, accessible bathrooms with roll under sinks and roll in showers. Bathrooms are to be sheathed with plywood prior to finishes to allow for grab bars and mounted aids as needed per tenant. Kitchens/Laundry to have roll under sinks and front control appliances for ease of use. Each unit will have a 3.04<sup>M</sup> X 3.04<sup>M</sup> rear no step concrete patio.

**Energy Efficiency features:** The units are designed to be Net 0. Using ICF block construction to minimize heat loss and maximize longevity of the building. R60 Blown in fiberglass insulation in attic spaces. K8 HRV and controlled venting of bathrooms and kitchen area through the HR unit. Energy star windows and doors and energy efficient appliances. The use of tankless hot water heaters to reduce standby heat loss and low flow water fixtures for reduced water consumption. Each unit will be grid connected with a solar array allowing for Net Metering. All light fixtures will be LED. The position of the units allow for maximum solar gain for the solar array and through passive solar through the rear patio door. The covered front overhang also helps reduce the need for mechanical snow removal in the winter months.

## C. ELEVATION AND BUILDING MATERIAL

**Building envelope:** All units will be constructed with ICF block construction for all exterior and demising walls with attached vinyl siding. The roof will be constructed of pre-engineered roof trusses and ½ inch sheathing with metal roof cladding and R60 fiberglass insulation.

**Woodwork:** The kitchens will be constructed using contemporary smooth panel doors with door and drawer handles with soft close hinges and soft close drawer slides.

**Doors/Windows:** All front exterior doors will be 914.4<sup>MM</sup> energy guide rated with lever handles and vinyl clad jambs. The rear patio will be a 1828<sup>MM</sup> energy star rated sliding patio door with forced entry hardware. All windows will be energy star rated with low E and Argon filled units.

### **Finishes:**

All interior trim will be contemporary flat smooth trim, interior doors will be smooth 2 panel with lever handles. Wall and ceiling finishes will be of gypsum board and plaster finish. The paint finish will be pearl PPG low VOC paint with one neutral color throughout. Flooring will be vinyl laminate plank throughout and the bathroom will have ceramic tile floor and shower.

Exterior finishes: The buildings will each have their own color of vinyl siding and white trims.

Muskoka Green

Lighthouse Red

Sapphire Blue

Gunmetal Gray

Roofing material will be black metal roofing with solar panels on the rear roof.

**Mechanical:** Each unit will have a self contained K8 HRV unit. The hot water heater will have a 40 amp tankless electric water heater. Plumbing fixtures will all have lever style handles, elongated toilets and roll under sinks. Each bathroom will have a roll in ceramic tile shower and tile floors and baseboards to allow for excess water. Kitchen and bathrooms are to be vented through the HRV, and each unit will have a wall mounted ABC fire extinguisher and interconnected smoke detectors.

**Electrical:** A 100 amp service to supply each unit with a grid tied sell back meter. Each unit will have a self contained solar array on the rear of the roof. Each unit will be wired to the requirements of the NEC and will feature 20 amp GFCI kitchen receptacles, 15 amp GFCI bathroom receptacles, 15 amp arc fault protected receptacle throughout. All lighting will be LED for longevity and energy efficiency. All electrical light switches are to be rocker decor style and will be wired to allow for smart home connectivity.

## **D. BUILDING HEIGHT AND LOCATION**

**Building Height:** Each building is designed to be slab on grade with a 2.438<sup>M</sup> interior ceiling height. The overall building height is 4,521<sup>M</sup>. **Please see attached drawing A-4.2**

**Building Location:** The building will be located at 188 New Pennywell rd with each building being located perpendicular to New Pennywell rd. The first building setback is approximately 42<sup>M</sup> from the street and each building is separated by 4<sup>M</sup> to 6<sup>M</sup> easements. **Please see attached drawing C-01**

## **E. EXTERIOR LIGHTING AND EQUIPMENT**

Residential style LED lighting located by entrance to each unit in the Affordable housing development.

Utility transformers are to be pole mounted as per Newfoundland Power and are to be located at the rear of the property.

Parking areas will have LED solar powered lighting, this lighting is full cut off dark sky, directional lights and reduces excessive light pollution. The lighting also dims to 20% brightness when there is no motion detected. This type of lighting has been selected to reduce the lighting impact on area neighbors and the environment. There will be 7 of these pole mounted lights in the parking lot





area. Please see drawing C-02 For light spread area.

## Dusk to Dawn & 0 Electricity Bills

### CHARGING AT DAYTIME



**Automatic charging during the day 6-8hrs**  
(Charge 12-14h for the first time)



### Lighting at night automatically



**When no motion detected,  
20% brightness**



**When motion detected,  
100% brightness**



**When no motion detected within 15 seconds,  
20% brightness**

## F. LANDSCAPING AND BUFFERING

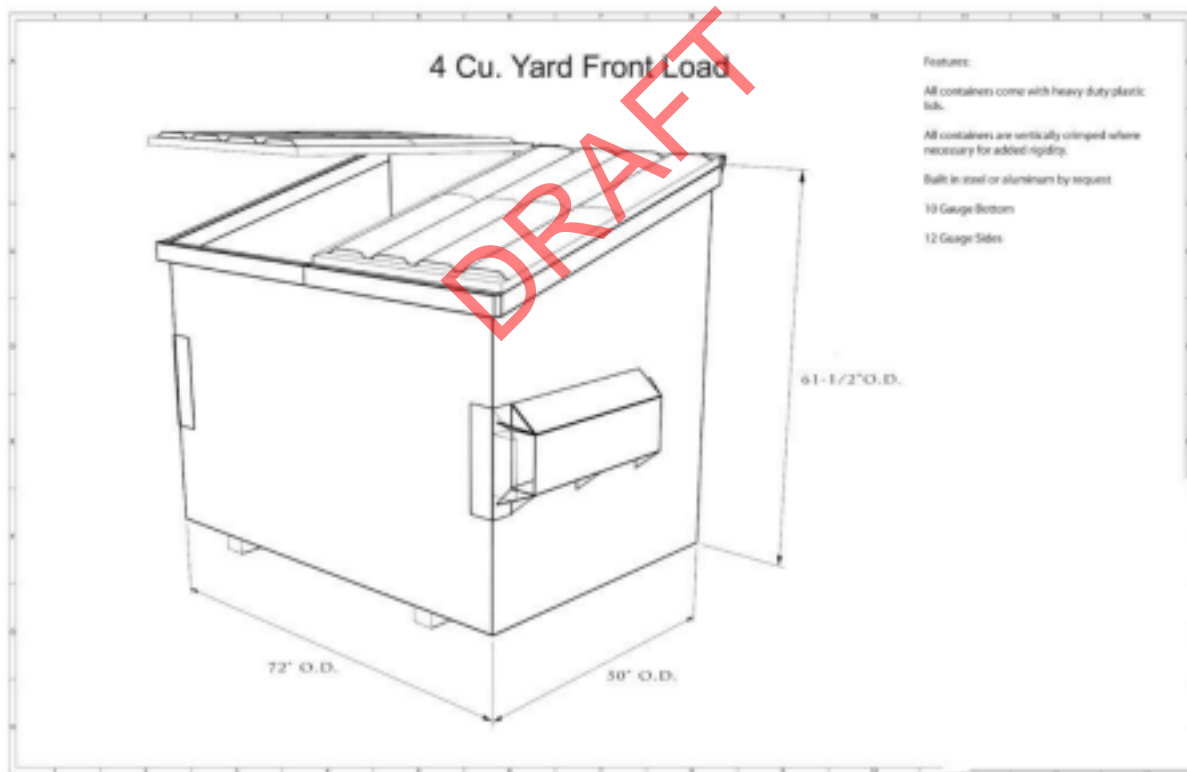
All landscaping for this development will be done according to the requirements list of specifications from the City of St. Johns. Where possible, all natural trees and vegetation will remain, all remaining landscaped areas will be sod, re planting of any trees will be a mix of Deciduous and Cinneriferos hardy to Newfoundland environment. Shrubbery and trees will be planted through areas not designated for snow storage.

The total site is 11,503.9<sup>M2</sup>

Hard surface coverage 5,785.9<sup>M2</sup> 50.3%

Softscape coverage 5,717.9<sup>M2</sup> 49.7%.

Private refuse and recycling bins will be located at the left of the first unit and at the right of the last unit off the parking lot to facilitate ease of pick up. They will be located on concrete pads and pick up will take place weekly. There will be 2 bins, 4 yard each. **Locations are located on site plan C-01**



## G. SNOW CLEARING AND SNOW STORAGE

The site will have private snow clearing and removal. Snow storage areas will be located on the West side of the parking lot in the landscape buffer. City 6m snow storage buffer is located at either side of the entrance to the parking lot and along New Pennywell rd. **These sites are indicated on the site plan C-02**

## **H. OFF STREET PARKING AND SITE ACCESS**

The entrance and exit to parking is to be located at 188 New Pennywell rd. The site will have a total of 32 parking spaces for the 32 units, 4 of these stalls will be wheelchair and van accessible. **These are indicated on site plan C-01**

## **I. MUNICIPAL SERVICES**

The site will be serviced and tied in by water and sewer from Pennywell rd to each building as per City of St. John's specifications and civil engineering drawings.

The buildings will not be sprinklered, the nearest fire hydrant is located 14m from the property. **Stormwater Detention will be located on the property and is located in drawing C-02 toward the front of the property.**

## **J. PUBLIC TRANSIT**

**Nidus Development - Metrobus transit infrastructure requirements (January 24, 2024)**

Our consultant, Myles Russell, Stage Zero Consulting, conferred with Keith Woodfine, Metro Bus to discuss transit requirements around this new development located at 188 New Pennywell Road.

Myles stated, we are approximately a 10 minute 800m walk to stops on route 16 and about 1,200m 20 minute walk to ALF ZIP Route 1. Route 19 to the south is about as far to walk as route 1 so it wouldn't be expected to be a dominant transit ridership focus for riders.

**Response from Keith Wodfine, Metro Bus, January 29, 2024 was as follows:**

After our conversation I reviewed the area and at this time we are not recommending any infrastructure requirements from the developer. The placement of the new development is not within our service standards and as of now there are no future plans to service this area.

## **K. CONSTRUCTION TIME FRAME**

Construction will be implemented in 4 phases totaling approximately 18 months to full completion.

1. Site preparation and land clearing
2. Civil work and excavation
3. Building construction
4. Landscaping and building occupancy

All equipment being used during construction will be maintained on site and to the north behind each phase of the project.

Onsite construction power will be provided by Newfoundland Power to reduce generator noise during construction time.

DRAFT

# TERMS OF REFERENCE

The following is the “Terms of Reference” document issued by the City of St John’s on July 7, 2022.

## **TERMS OF REFERENCE LAND USE REPORT (LUR)**

### **APPLICATION FOR TOWNHOUSE CLUSTER AT**

### **188 NEW PENNYWELL ROAD PROPONENT: NIDUS DEVELOPMENT INC.**

**JULY 7, 2022**

The proponent shall identify significant impacts and, where appropriate, also identify measures to mitigate impacts on land uses adjoining the subject property. All information is to be submitted under one report in a form that can be reproduced for public information and review. The numbering and ordering scheme used in the report shall correspond with that used in this Terms of Reference and a copy of the Terms of Reference shall be included as part of the report (include an electronic PDF version with a maximum file size of 15MB). A list of those persons/agencies who prepared the Land Use Report shall be provided as part of the report. The following items shall be addressed by the proponent at its expense:

#### **A. Public Consultation**

- Prior to submitting a first draft of the Land Use Report to the City for review, the applicant must consult with adjacent property owners. The Land Use Report must include a section which discusses feedback and/or concerns from the neighborhood and how the proposed design addresses the Concerns.

#### **B. Building Use**

- Identify the size of the proposed building by:
  - Number of units in each townhouse cluster;
  - Dwelling size (number of bedrooms) of each dwelling unit; and
  - Lot Coverage
- Identify all proposed uses/occupancies within the building by their respective floor area.

### **C. Elevation & Building Materials**

- Provide elevations of the proposed buildings.
- Identify the finish and color of exterior building materials.

### **D. Building Height & Location**

- Identify graphically the exact location with a dimensioned civil site plan:
  - Lot area and frontage;
  - Location of the proposed building in relation to neighboring buildings;
  - Proximity of the building to property lines and identify setbacks; - Distance between townhouse clusters;
  - Identify any stepbacks of higher storeys from lower storeys (if applicable);
  - Identify any encroachment over property lines (if applicable); - Identify the height of the building in meters;
  - Information on the proposed construction of patios/balconies (if applicable); and
  - Identify any rooftop structures.
- Provide a Legal Survey of the property and information on the land to be purchased from the City.
- Provide streetscape views/renderings of the proposed building from New Pennywell Road (along the frontage of the property) and include adjacent Properties.

### **E. Exterior Equipment and Lighting**

- Identify the location and type of exterior lighting to be utilized. Identify possible impacts on adjoining properties and measures to be instituted to minimize these impacts.
- Identify the location and type of any exterior HVAC equipment to be used to service the proposed building and identify possible impacts on adjoining properties and measures to be instituted to minimize these impacts.

### **F. Landscaping & Buffering**

- Identify with a landscaping plan, details of site landscaping (hard and soft), including percent of lot to be landscaped.
- Identify the location and proposed methods of screening of any electrical transformers and refuse containers to be used at the site.

### **G. Snow Clearing/Snow Storage**

- The building and parking lot curb shall be set back a minimum of 6 meters from the property line. This must be dimensioned on the site plan.
- Provide information on any snow clearing/snow removal operations. Onsite snow storage areas must be indicated.
  - o Areas must be outlined showing City snow storage on the site within the 6-meter setback from public streets and labeled “City snow storage only”. The proponent will not be able to store snow from the parking lots in these areas.



#### **H. Off-street Parking and Site Access**

- Identify on a dimensioned site plan the number, location, and size of off-street parking spaces to be provided, including any required accessible stalls. o Also include walkways with dimensions and curb ramp locations. • Identify the number and location of bicycle parking spaces to be provided or considerations for active modes.
- Identify the location of all access and egress points, including pedestrian access.
- An accessible path from the sidewalk in New Pennywell Road to the building entrance(s) must be provided
- A Parking Report may be required if the applicant wishes to provide a different number of parking spaces other than that required by the Development Regulations.
- Indicate how garbage will be handled onsite. The location of any exterior bins must be indicated and access to the bins must be provided.

#### **I. Municipal Services**

- Provide a preliminary site servicing plan.
- Identify points of connection to existing sanitary sewer, storm sewer and water system. The location of all existing sewers must be shown along with any existing or proposed easements.
- Identify if the building will be sprinklered or not, and location of the nearest hydrant and siamese connections.
- Provide the proposed sanitary and storm generation rates. • The proposed development will be required to comply with the City's stormwater detention policy. Stormwater detention is required for this development. Provide preliminary information on how onsite stormwater detention will be managed (indicate how/where detention will be provided).

#### **J. Public Transit**

- Consult with St. John's Metrobus (St. John's Transportation Commission) regarding public transit infrastructure requirements.

#### **K. Construction Timeframe**

- Indicate any phasing of the project and approximate timelines for beginning and completion of each phase or overall project.
- Indicate on a site plan any designated areas for equipment and materials during the construction period.



LEGEND	
PROPERTY BOUNDARY	---
BUILDING SET-BACKS	---
EX. SANITARY SEWER AND STRUCTURES	---
EX. STORM SEWER AND STRUCTURES	---
EX. WATERMAIN AND FITTINGS	---
NEW SANITARY SEWER AND STRUCTURES	---
NEW STORM SEWER AND STRUCTURES	---
NEW STORM DETENTION POND SLOPES	---
NEW WATERMAIN AND FITTINGS	---
EX. OVERHEAD UTILITY LINE	---
EX. UTILITY LINE EASEMENT	---
NEW OVERHEAD UTILITY LINE	---
NEW UTILITY LINE EASEMENT	---
MAJOR CONTOURS (2.5m)	---
MINOR CONTOURS (0.5m)	---
PARKING STALL SNOW STORAGE	---
ACCESS STREET SNOW STORAGE ONLY	---
NEW STRUCTURES	---
NEW CONCRETE PADS	---
NEW SODDING LANDSCAPING	---
NEW CONCRETE RAMPS	---
NEW ASPHALT	---
NEW SIDEWALKS AND WALKWAYS	---
NEW GARBAGE ENCLOSURES	---
STORM WATER RUNOFF CALCULATION AREA	---

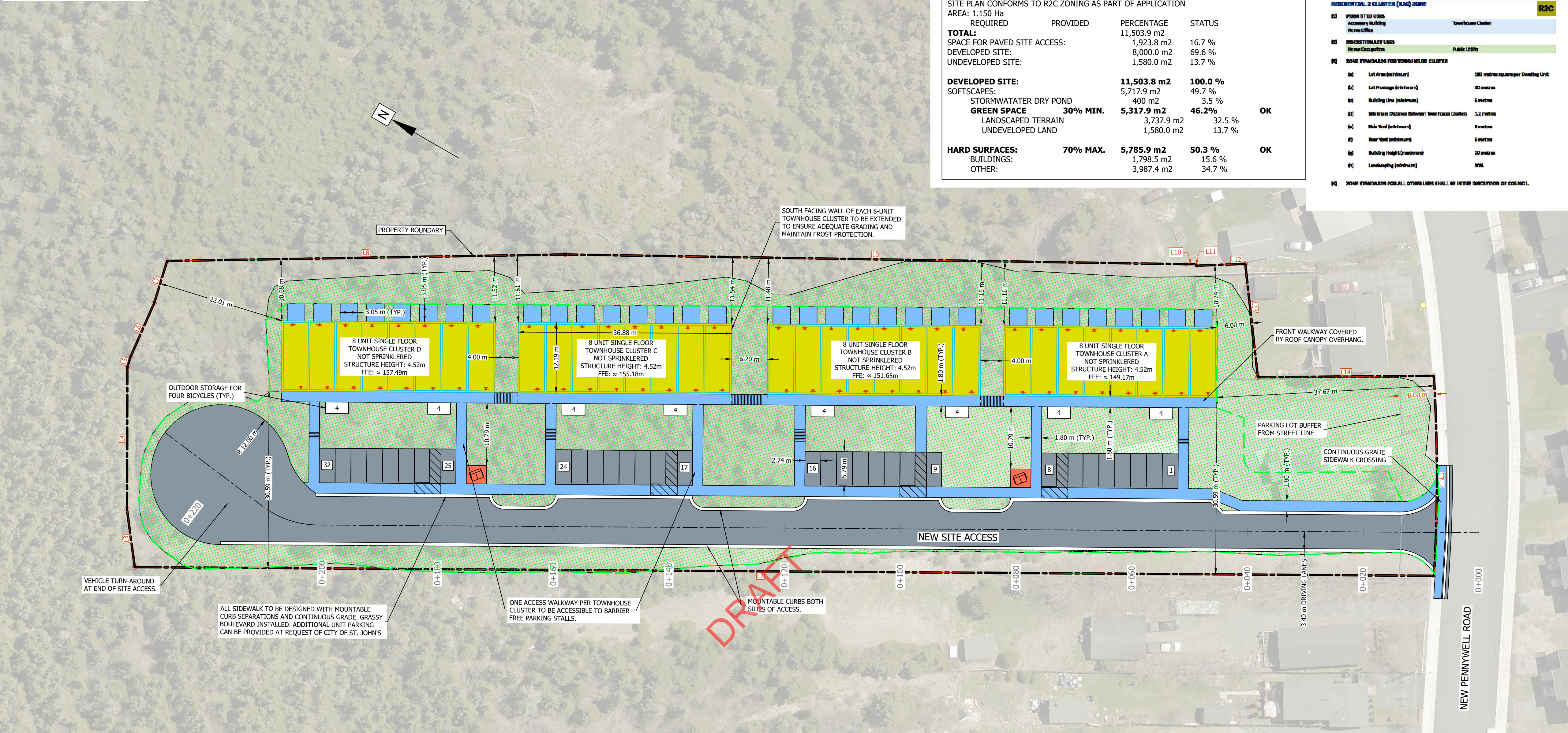
CHAINAGE (REFER TO LEGAL SURVEY FOR ORIGINAL)	
L1 S 29° 56' 51" W	34.585 m CHORD
L2 RAD 294.806 m	34.605 m ARC
L3 N 29° 37' 07" W	224.656 m
L4 N 52° 26' 49" E	10.093 m
L5 N 60° 07' 13" E	24.516 m
L6 N 76° 10' 44" E	1.881 m
L7 N 83° 47' 23" E	10.224 m
L8 N 77° 05' 00" E	7.620 m
L9 S 30° 56' 00" E	68.818 m
L10 S 29° 06' 00" E	107.381 m
L11 S 30° 59' 00" E	1.633 m
L12 S 36° 29' 43" W	0.316 m
L13 S 32° 13' 21" E	8.465 m
L14 S 53° 40' 00" W	19.739 m
L15 S 30° 27' 01" E	30.438 m
Perimeter:	550.386 m
Area:	11,503.88 m <sup>2</sup>

#### ZONING AND LOT USAGE PLAN

BRIER AVENUE



#### CONCEPT CIVIL SITE PLAN VIEW



PARCEL DATA: SITE PLAN CONFORMS TO R2C ZONING AS PART OF APPLICATION AREA: 1.150 Ha				
REQUIRED	PROVIDED	PERCENTAGE	STATUS	
<b>TOTAL:</b>	<b>11,503.9 m<sup>2</sup></b>	<b>100.0 %</b>		
SPACE FOR PAVED SITE ACCESS:	1,923.8 m <sup>2</sup>	16.7 %		
DEVELOPED SITE:	8,000.0 m <sup>2</sup>	69.6 %		
UNDEVELOPED SITE:	1,580.0 m <sup>2</sup>	13.7 %		
<b>DEVELOPED SITE:</b>	<b>11,503.8 m<sup>2</sup></b>	<b>100.0 %</b>		
SOFTSCAPES:	5,717.9 m <sup>2</sup>	49.7 %		
STORMWATER DRY POND	400 m <sup>2</sup>	3.5 %		
<b>GREEN SPACE 30% MIN.</b>	<b>5,317.9 m<sup>2</sup></b>	<b>46.2%</b>	<b>OK</b>	
LANDSCAPED TERRAIN	3,737.9 m <sup>2</sup>	32.5 %		
UNDEVELOPED LAND	1,580.0 m <sup>2</sup>	13.7 %		
<b>HARD SURFACES:</b>	<b>70% MAX.</b>	<b>5,785.9 m<sup>2</sup></b>	<b>50.3 %</b>	<b>OK</b>
BUILDINGS:	1,798.5 m <sup>2</sup>	15.6 %		
OTHER:	3,987.4 m <sup>2</sup>	34.7 %		

Residential 2 Cluster (R2C) ZONE	
PERMITTED USES	Townhouse Cluster
PROPOSED USES	Public Utility
ZONE STANDARDS FOR TOWNHOUSE CLUSTER	
Lot Area (minimum)	1,000 square metres per Dwelling Unit
Lot Frontage (minimum)	20 metres
Building Line (minimum)	6 metres
Minimum Distance Between Townhouse Clusters	1.2 metres
Side Yard (minimum)	6 metres
Rear Yard (minimum)	6 metres
Building Height (maximum)	10 metres
Landscaping (minimum)	5%
ZONE STANDARDS FOR ALL OTHER USES SHALL BE IN THE DISCRETION OF COUNCIL	

#### Stage Zero Consulting

19 Tammany St.  
St. John's NL

- NOTES:
- This Concept plan is not the final version and should only be used as a reference.
  - Zoning based on Townhouse Cluster (R2C) permitted use schedule in 2023 Engage Development Regulations from the City of St. John's. Individual townhouse clusters may not be required as the minimum requirement of space per unit has been achieved.
  - Survey boundary as provided by client. Nae27 to Nae83 transformation was required.
  - Site contour data provided by the City of St. John's Lidar Data 2023.
  - Accessible parking spaces will be calculated during LUAR phase of development with parking report. Due to the nature of this development, we will be providing more than the minimum required accessible parking.

New Pennywell Road Area  
Townhouse Cluster  
Affordable Housing Project  
Nidus Development Inc

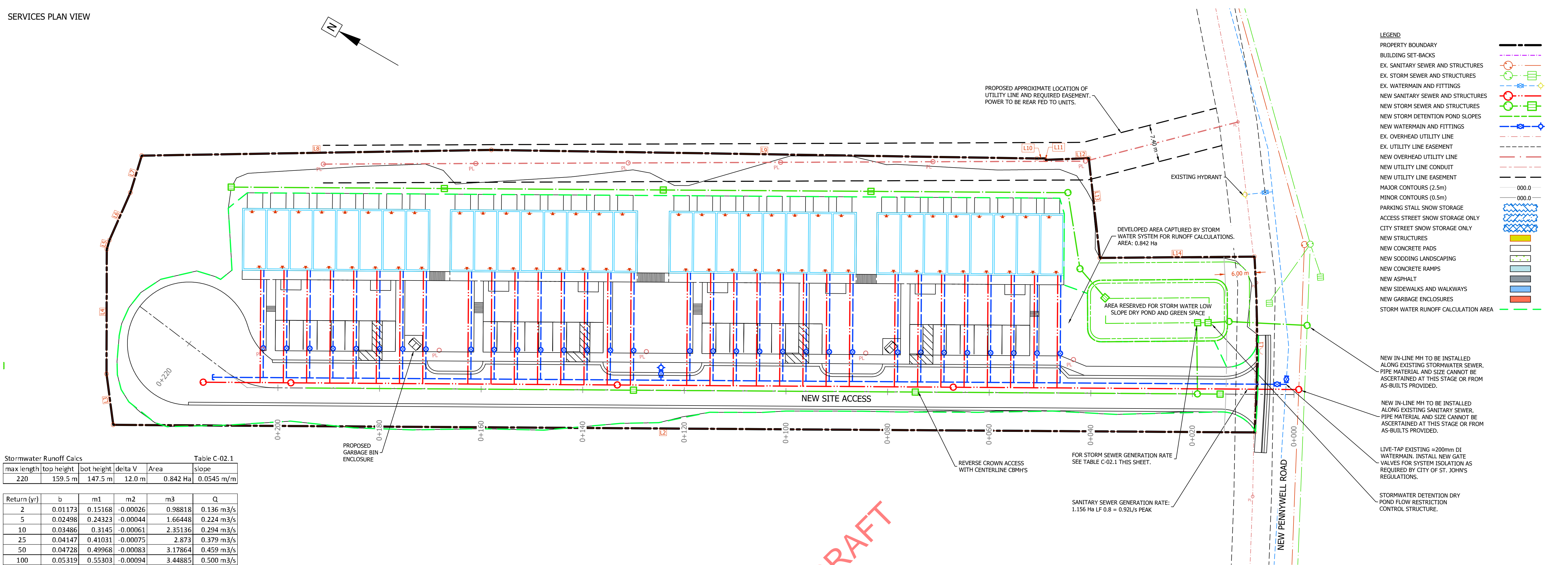
City of St. John's

#### CONCEPT SITE PLAN

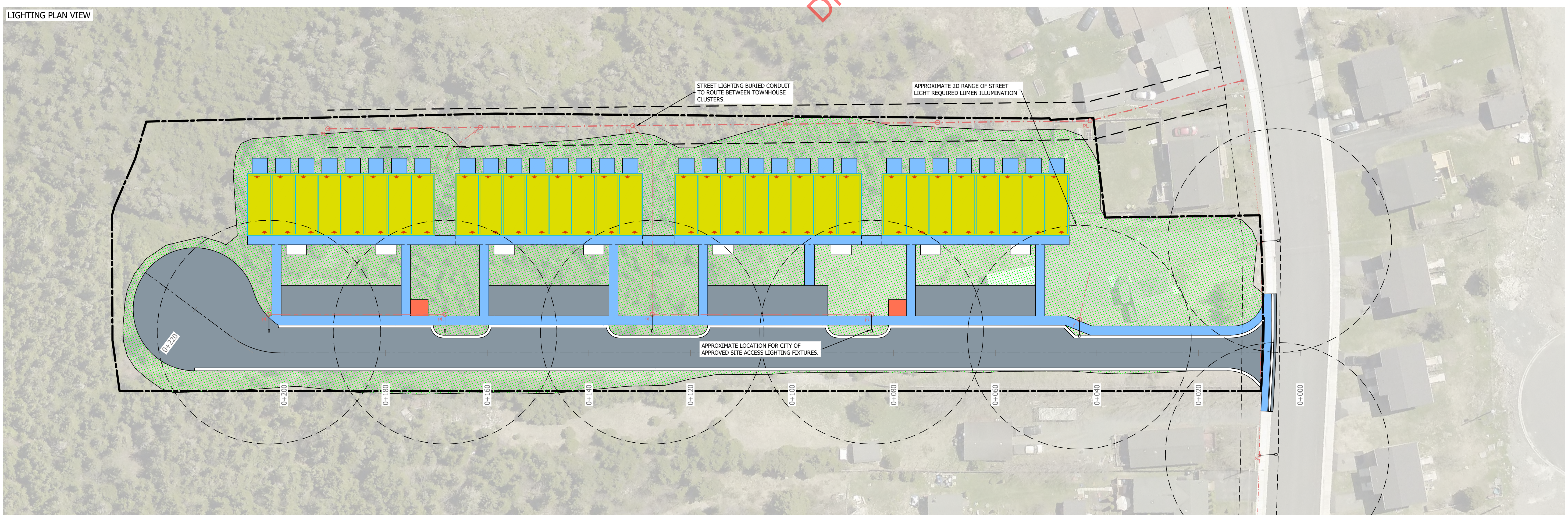
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M Russell	Rev: 4
Date: 2024/04/08	
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### SERVICES PLAN VIEW



### LIGHTING PLAN VIEW



## Stage Zero Consulting

Turnberry St.  
St. John's NL

NOTES:

- TEYES: This Concept plan is not the final version and should only be used as a reference.
- Zoning based on Townhouse Cluster (R2C) permitted use schedule in 2023 Engage Development Regulations from the City of St. John's. Individual townhouse clusters may not be required as the minimum requirement of space per unit has been achieved.
- Survey boundary as provided by client.
- Site contour data provided by the City of St. John's Lidar Data 2023.
- Accessible parking spaces will be calculated during LUAR phase of development with parking report.
- See Architectural for lighting. Lighting to illuminate unit entry covered walkway.
- Off-street parking lighting to be provided by required City of St. John's street lighting systems.

New Pennywell Road Area  
 Townhouse Cluster  
 Affordable Housing Project  
 Midus Development Inc

ty of St. John's

## CONCEPT SITE PLAN

N: P-230102	-
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Russell	Rev
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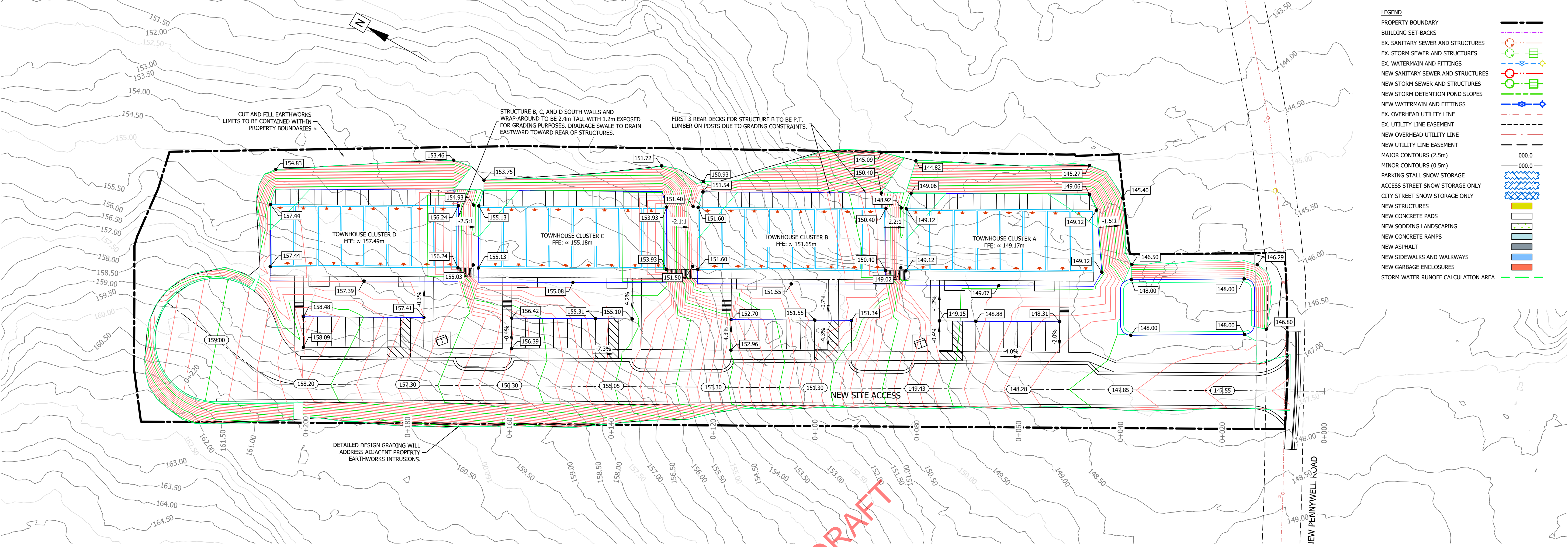
ate: 2024/04/12	
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SCALE: 1:400

C-02



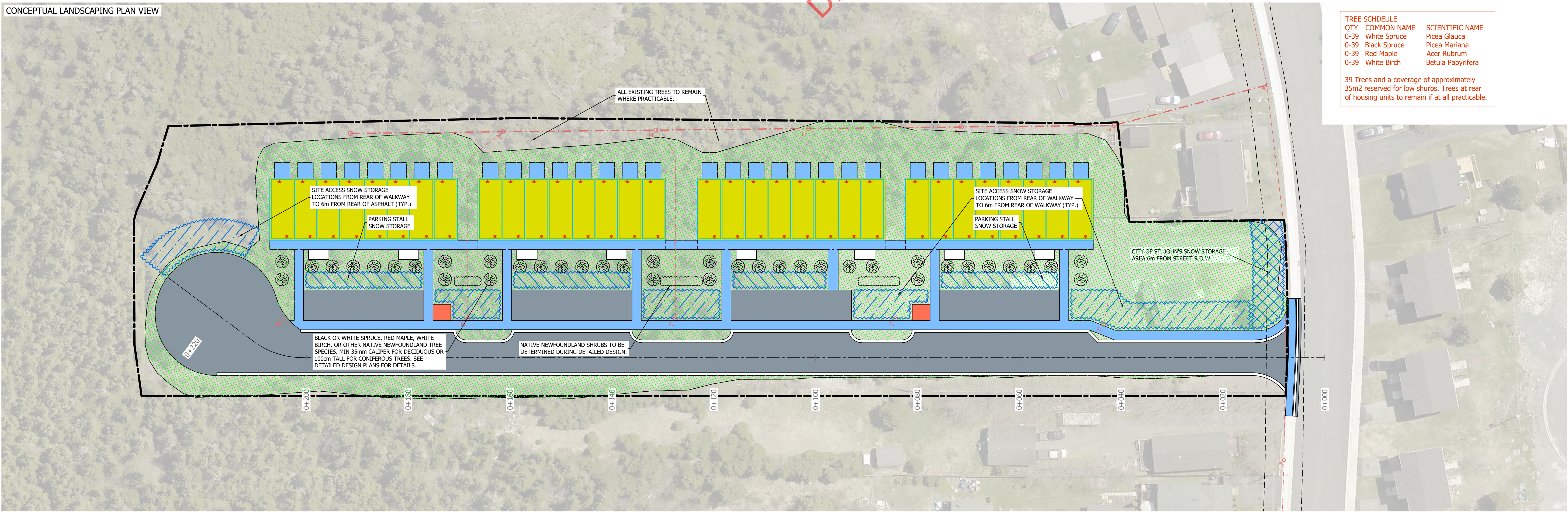
CONCEPTUAL GRADING PLAN



- LEGEND**
- PROPERTY BOUNDARY
  - BUILDING SET-BACKS
  - EX. SANITARY SEWER AND STRUCTURES
  - EX. STORM SEWER AND STRUCTURES
  - EX. WATERMAIN AND FITTINGS
  - NEW SANITARY SEWER AND STRUCTURES
  - NEW STORM SEWER AND STRUCTURES
  - NEW STORM DETENTION POND SLOPES
  - NEW WATERMAIN AND FITTINGS
  - EX. OVERHEAD UTILITY LINE
  - EX. UTILITY LINE EASEMENT
  - NEW OVERHEAD UTILITY LINE
  - NEW UTILITY LINE EASEMENT
  - MAJOR CONTOURS (2.5m)
  - MINOR CONTOURS (0.5m)
  - PARKING STALL SNOW STORAGE
  - ACCESS STREET SNOW STORAGE ONLY
  - CITY STREET SNOW STORAGE ONLY
  - NEW STRUCTURES
  - NEW CONCRETE PADS
  - NEW SODDING LANDSCAPING
  - NEW CONCRETE RAMPS
  - NEW ASPHALT
  - NEW SIDEWALKS AND WALKWAYS
  - NEW GARBAGE ENCLOSURES
  - STORM WATER RUNOFF CALCULATION AREA

- Stage Zero Consulting**  
19 Tambieny St.  
St. John's NL
- NOTES:**
- This Concept plan is not the final version and should only be used as a reference.
  - Zoning based on Townhouse Cluster (R2C) permitted use schedule in 2023 Engage Development Regulations from the City of St. John's. Individual townhouse clusters may not be required as the minimum requirement of space per unit has been achieved.
  - Survey boundary as provided by client.
  - Site contour data provided by the City of St. John's Lidar Data 2023.
  - Accessible parking spaces will be calculated during LUAR phase of development with parking report.
  - See Architectural for lighting. Lighting to illuminate unit entry covered walkway. Site access lighting to match City of St. John's street lighting.
  - Paved Site access and sidewalk can achieve 8% of lower maximum grade with earthworks intrusion with the westward property. For this conceptual grading plan, earthworks limitations are taking precedence resulting in a portion of the paved site access having a centerline slope of 10% for a portion.

CONCEPTUAL LANDSCAPING PLAN VIEW



TREE SCHEDULE	QTY	COMMON NAME	SCIENTIFIC NAME
0-39		White Spruce	Picea Glauca
0-39		Black Spruce	Picea Mariana
0-39		Red Maple	Acer Rubrum
0-39		White Birch	Betula Papyrifera

39 Trees and a coverage of approximately 35m2 reserved for low shrubs. Trees at rear of housing units to remain if at all practicable.



### CONCEPTUAL SP-100 FIRE LADDER VEHICLE MOVEMENT

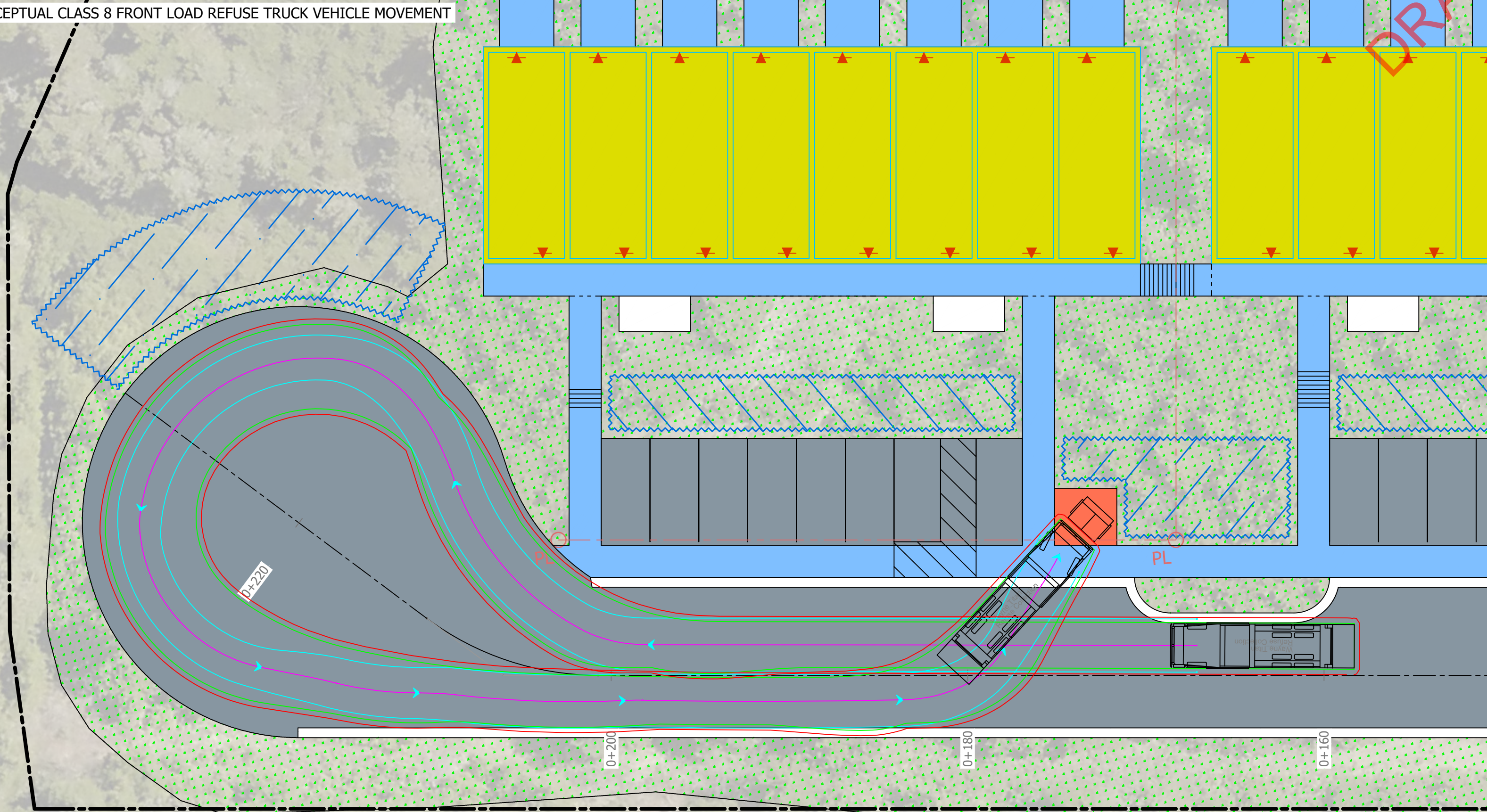


- | LEGEND                              |  |
|-------------------------------------|--|
| PROPERTY BOUNDARY                   |  |
| BUILDING SET-BACKS                  |  |
| EX. SANITARY SEWER AND STRUCTURES   |  |
| EX. STORM SEWER AND STRUCTURES      |  |
| EX. WATERMAIN AND FITTINGS          |  |
| NEW SANITARY SEWER AND STRUCTURES   |  |
| NEW STORM SEWER AND STRUCTURES      |  |
| NEW STORM DETENTION POND SLOPES     |  |
| NEW WATERMAIN AND FITTINGS          |  |
| EX. OVERHEAD UTILITY LINE           |  |
| EX. UTILITY LINE EASEMENT           |  |
| NEW OVERHEAD UTILITY LINE           |  |
| NEW UTILITY LINE CONDUIT            |  |
| NEW UTILITY LINE EASEMENT           |  |
| MAJOR CONTOURS (2.5m)               |  |
| MINOR CONTOURS (0.5m)               |  |
| PARKING STALL SNOW STORAGE          |  |
| ACCESS STREET SNOW STORAGE ONLY     |  |
| CITY STREET SNOW STORAGE ONLY       |  |
| NEW STRUCTURES                      |  |
| NEW CONCRETE PADS                   |  |
| NEW SODDING LANDSCAPING             |  |
| NEW CONCRETE RAMPS                  |  |
| NEW ASPHALT                         |  |
| NEW SIDEWALKS AND WALKWAYS          |  |
| NEW GARAGE ENCLOSURES               |  |
| STORM WATER RUNOFF CALCULATION AREA |  |

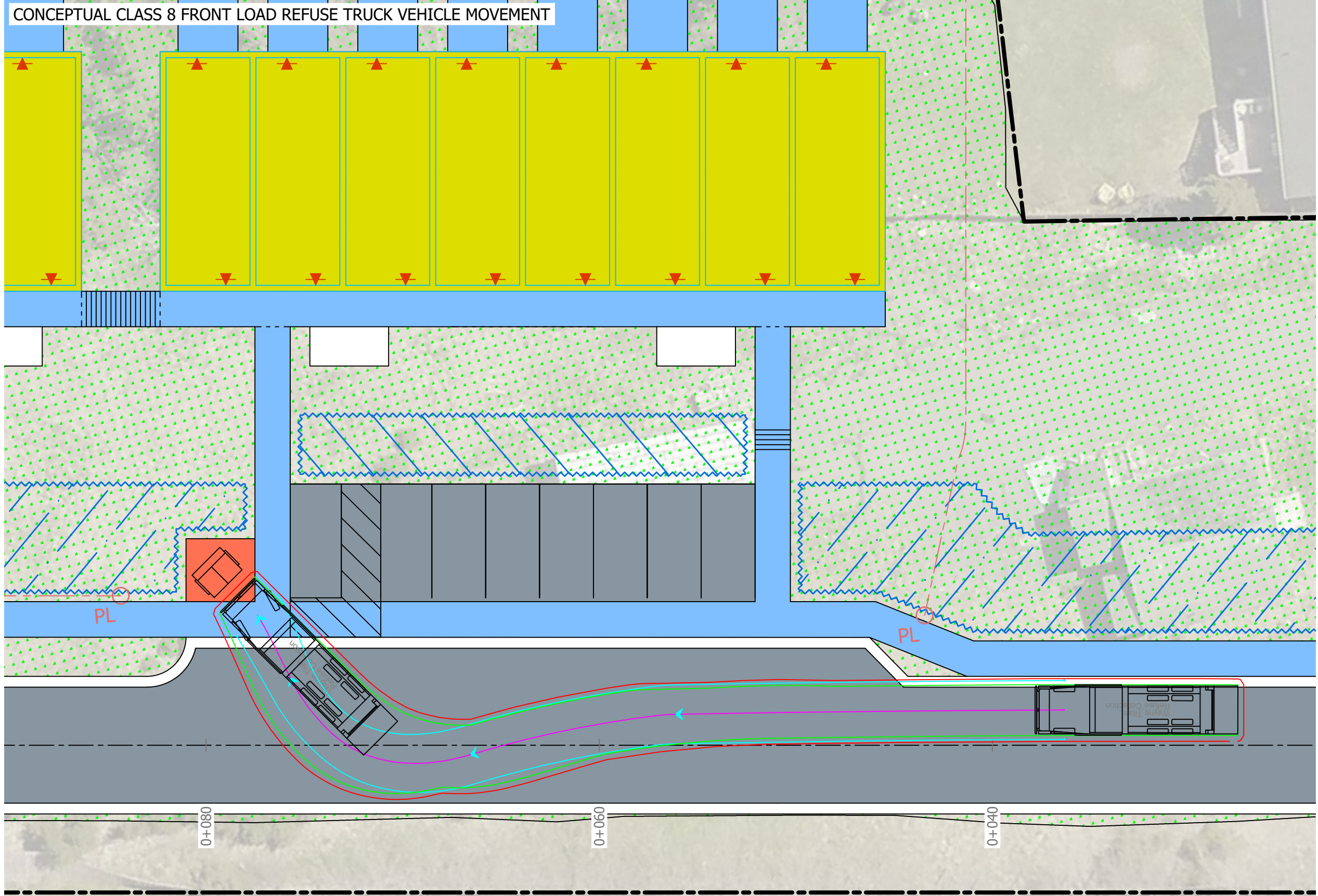
VEHICLE AUTO-TURN LEGEND

- |                                 |   |
|---------------------------------|---|
| VEHICLE LINES                   | — |
| VEHICLE FRONT WHEEL CENTER-LINE | — |
| 30cm FRONT WHEEL CLEARANCE      | — |
| TOTAL VEHICLE CLEARANCE         | — |
| 30cm TOTAL VEHICLE CLEARANCE    | — |

### CONCEPTUAL CLASS 8 FRONT LOAD REFUSE TRUCK VEHICLE MOVEMENT



## CONCEPTUAL CLASS 8 FRONT LOAD REFUSE TRUCK VEHICLE MOVEMENT



## Stage Zero Consulting

19 Turnberry St  
St. John's NL

NOTES:

- This Concept Plan is not the final version and should be used as a reference.
- Zoning based on Townhouse Cluster (R2C) permitted use schedule in 2023 Englewood Development Regulations from the City of St. John's. Individual townhouse clusters may be developed in the future as the amount of space per unit has been achieved.
- Survey boundary as provided by client.
- Site data provided by the City of St. John's, 2023.
- Accessible parking spaces will be calculated during LUAR phase of development with parking report.
- See separate report for lighting. Lighting to illuminate the entry covered walkway.
- Match lighting to match City of St. John's street lighting.
- Paved Site access and sidewalk can achieve 8% maximum grade with the use of earthworks intrusion with the westward property. For this conceptual grading plan, earthworks limitations are taking precedence over the maximum grade. The site access having a centerline slope of 10% for a portion.

New Pennywell Road Area  
Townhouse Cluster  
Affordable Housing Project  
Nidus Development Inc

City of St. John's

## CONCEPT SITE PLAN

PN: P-230102	-
M Russell	Rev: 1
Date: 2024/04/12	C-04
SCALE: 1:400	



# **City of St. John's Municipal Plan, 2021**

**St. John's Municipal Plan Amendment Number 14, 2024**

**Rural Land Use District to  
Residential Land Use District  
188 New Pennywell Road**

**August 2024**



**URBAN AND RURAL PLANNING ACT, 2000**

**RESOLUTION TO ADOPT**

**ST. JOHN'S Municipal Plan, 2021**

**Amendment Number 14, 2024**

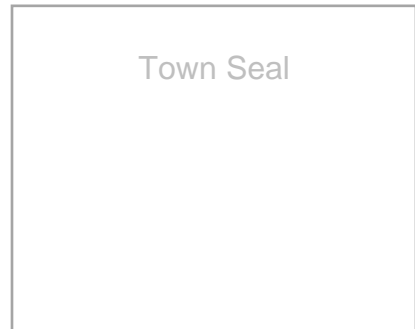
Under the authority of section 16 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's adopts the St. John's Municipal Plan Amendment Number 14, 2024.

Adopted by the City Council of St. John's on the \_\_\_\_ day of [Click or tap to enter a date..](#)

Signed and sealed this \_\_\_\_ day of \_\_\_\_\_.

Mayor: \_\_\_\_\_

Clerk: \_\_\_\_\_



**Canadian Institute of Planners Certification**

I certify that the attached St. John's Municipal Plan Amendment Number 14, 2024 has been prepared in accordance with the requirements of the *Urban and Rural Planning Act, 2000*.

MCIP/FCIP: \_\_\_\_\_





**URBAN AND RURAL PLANNING ACT, 2000**

**RESOLUTION TO APPROVE**

**St. John's Municipal Plan, 2021**

**Amendment Number 14, 2024**

Under the authority of sections 16, 17 and 18 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's:

1. Adopted the St. John's Municipal Plan Amendment Number 14, 2024 on the \_\_\_\_ day of Click or tap to enter a date.;
2. Gave notice of the adoption of the St. John's Municipal Plan Amendment Number 14, 2024 by way of an advertisement inserted in the Telegram newspaper on the \_\_\_\_ day of Click or tap to enter a date., on the \_\_\_\_ day of Click or tap to enter a date., the \_\_\_\_ day of Click or tap to enter a date., and on the \_\_\_\_ day of Click or tap to enter a date.; and
3. Set the \_\_\_\_ day of \_\_\_\_\_ at \_\_\_\_\_ p.m. at the St. John's City Hall in the City of St. John's for the holding of a public hearing to consider objections and submissions.

Now, under section 23 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's approves the St. John's Municipal Plan Amendment Number 14, 2024 on the \_\_\_\_ day of Click or tap to enter a date. as \_\_\_\_\_.

Signed and sealed this \_\_\_\_ day of \_\_\_\_\_.

Mayor: \_\_\_\_\_

Clerk: \_\_\_\_\_

Town Seal

### Canadian Institute of Planners Certification

I certify that the attached City of St. John's Municipal Plan Amendment Number 14, 2024 has been prepared in accordance with the requirements of the *Urban and Rural Planning Act, 2000*.

MCIP/FCIP: \_\_\_\_\_

MCIP/FCIP Stamp

Municipal Plan/Amendment  
**REGISTERED**

Number \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

## **CITY OF ST. JOHN'S**

### **Municipal Plan Amendment Number 14, 2024**

#### **BACKGROUND AND ANALYSIS**

##### Background

The City has received an application from Nidus Development Inc. to rezone land at 188 New Pennywell Road for a Townhouse Cluster development with a total of thirty-two (32) units. The subject property is currently within the Residential District at the front of the property, and the Rural District at the rear. A Municipal Plan amendment is required to redesignate the rear of the property from the Rural District to the Residential District. The associated St. John's Development Regulations Amendment No. 40, 2024 will rezone the entire property from the Residential 1 (R1) Zone and Rural (RUR) Zone to the Residential 2 Cluster (R2C).

##### Analysis

The Envision St. John's Municipal Plan maintains a number of policies that recommend developments which increase density within existing neighbourhoods. The Growth and Development Strategy is achieved through the identification of undeveloped areas that are able to accommodate future, well-planned growth, with an emphasis on encouraging intensification. Further, the City shall preserve the pattern and scale of development in established residential neighbourhoods and work to improve amenities such as local food, services, parks, recreation and pedestrian trail networks.

The Plan recognizes that in order to have a City of healthy, walkable neighbourhoods with access to local services, a greater mix of uses and higher density residential development will be required to support such initiatives.

Policies that recommend increased density include:

Policy 4.1.2 - Enable a range of housing to create diverse neighbourhoods that include a mix of housing forms and tenures, including single, semi-detached, townhousing, medium and higher density and mixed-use residential developments.

Policy 4.3.2 - Ensure that infill development complements the existing character of the area.

Policy 4.4.1 - 1. Ensure that the review of development proposals considers how new development may affect abutting properties and uses.

Policy 8.4.2 - Recognize and protect established residential areas. Support the retention of existing housing stock, with provision for moderate intensification, in a form that respects the scale and character of the neighbourhood.

188 New Pennywell Road is a vacant lot that previously contained a Single-detached Dwelling. Within the R2C Zone, the maximum building height is 10 metres, which is similar to the 9 metres maximum building height of the adjacent Residential 1 (R1) properties. This will restrict the new development to a similar massing as the existing Zone. The development will introduce a new housing form to this neighbourhood, which will create a more diverse neighbourhood for new residents or existing residents looking to downsize and remain within the neighbourhood. The proposed development is considered a moderate intensification and is in line with the St. John's Municipal Plan.

## **PUBLIC CONSULTATION**

The proposed Municipal Plan and Development Regulations amendment was advertised on four occasions in The Telegram newspaper on June 20, July 6, July 13, and July 20, 2024. A notice of the amendment was also mailed to property owners within 150 metres of the application site and posted on the City's website. Background information on the amendment is available at the Engage St. John's project page.

Feedback on the proposal has been mixed. Some are supportive of the project and feel that the development will be a good fit in the neighbourhood, while others have concerns that the development is too dense. Concerns were raised that the development will cause traffic congestion in the neighbourhood, however the application was reviewed by the City's Transportation Engineering Division and no concerns were raised. There are also concerns about the overall loss of trees. The proposed development meets the City's landscape requirements and existing trees will remain at the rear of the lot and dwellings were possible.

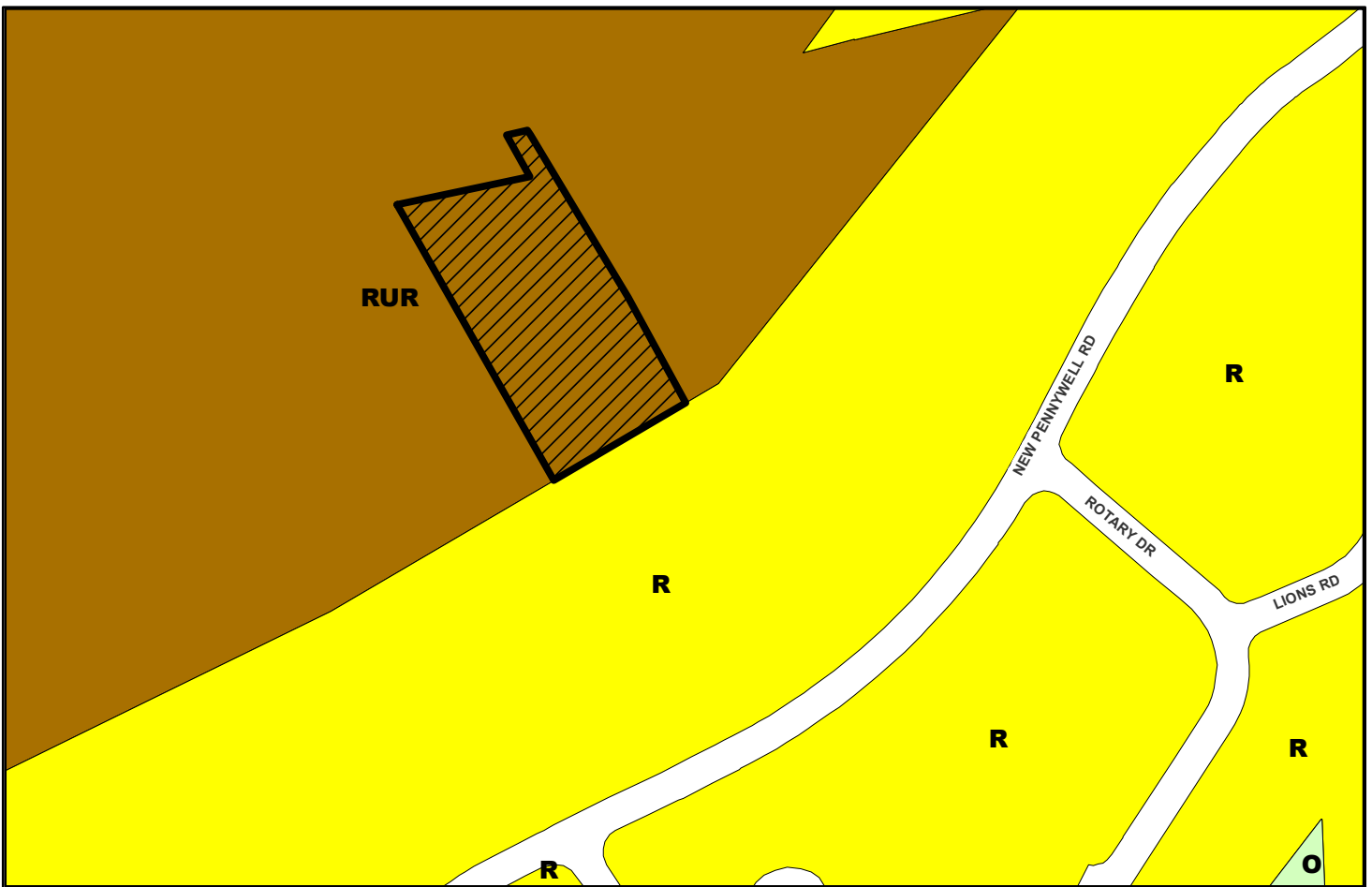
## **ST. JOHN'S URBAN REGION REGIONAL PLAN**

The proposed amendment is in line with the St. John's Urban Region Regional Plan. The subject property is within the Urban Development designation of the Regional Plan. An amendment to the St. John's Urban Region Regional Plan is not required.

## **ST. JOHN'S MUNICIPAL PLAN AMENDMENT NUMBER 14, 2024**

The St. John's Municipal Plan, 2021 is amended by:

- 1. Redesignating land at 188 New Pennywell Road [Parcel ID# 21007] from the Rural Land Use District to the Residential Land Use District as shown on Future Land Use Map P-1 attached.**



# **CITY OF ST. JOHN'S MUNICIPAL PLAN Amendment No. 14, 2024**

Future Land Use Map P-1

2024 08 08 Scale: 1:2500  
City of St. John's  
Department of Planning, Development  
& Regulatory Services

I hereby certify that this amendment  
has been prepared in accordance with the  
Urban and Rural Planning Act.



AREA PROPOSED TO BE REDESIGNATED FROM  
RURAL (RUR) LAND USE DISTRICT TO  
RESIDENTIAL (R) LAND USE DISTRICT

188 NEW PENNYWELL ROAD  
Parcel ID 21007

M.C.I.P. signature and seal

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Council Adoption

Municipal Plan/Amendment  
**REGISTERED**

Number \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

Provincial Registration

# **City of St. John's Development Regulations, 2021**

## **St. John's Development Regulations Amendment Number 40, 2024**

**Residential 1 (R1) and Rural (RUR) Zone  
to the Residential 2 Cluster (R2C) Zone  
188 New Pennywell Road**

**August 2024**





**URBAN AND RURAL PLANNING ACT, 2000**

**RESOLUTION TO ADOPT**

**ST. JOHN'S Development Regulations, 2021**

**Amendment Number 40, 2024**

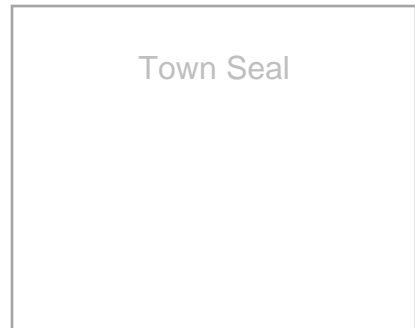
Under the authority of section 16 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's adopts the St. John's Development Regulations Amendment Number 40, 2024.

Adopted by the City Council of St. John's on the \_\_\_\_ day of [Click or tap to enter a date..](#)

Signed and sealed this \_\_\_\_ day of \_\_\_\_\_.

Mayor: \_\_\_\_\_

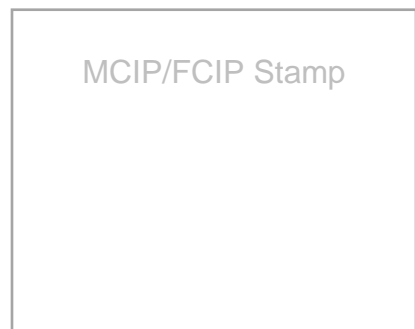
Clerk: \_\_\_\_\_



**Canadian Institute of Planners Certification**

I certify that the attached St. John's Development Regulations Amendment Number 40, 2024 has been prepared in accordance with the requirements of the *Urban and Rural Planning Act, 2000*.

MCIP/FCIP: \_\_\_\_\_



**URBAN AND RURAL PLANNING ACT, 2000**

**RESOLUTION TO APPROVE**

**St. John's Development Regulations, 2021**

**Amendment Number 40, 2024**

Under the authority of sections 16, 17 and 18 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's:

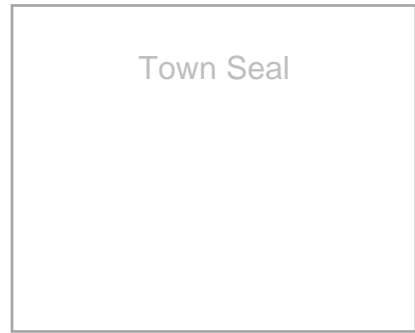
1. Adopted the St. John's Development Regulations Amendment Number 40, 2024 on the \_\_\_\_ day of Click or tap to enter a date.;
2. Gave notice of the adoption of the St. John's Development Regulations Amendment Number 40, 2024 by way of an advertisement inserted in the Telegram newspaper on the \_\_\_\_ day of Click or tap to enter a date., on the \_\_\_\_ day of Click or tap to enter a date. , the \_\_\_\_ day of Click or tap to enter a date., and on the \_\_\_\_ day of Click or tap to enter a date.; and
3. Set the \_\_\_\_ day of \_\_\_\_\_ at \_\_\_\_\_ p.m. at the St. John's City Hall in the City of St. John's for the holding of a public hearing to consider objections and submissions.

Now, under section 23 of the *Urban and Rural Planning Act, 2000*, the City Council of St. John's approves the St. John's Development Regulations Amendment Number 40, 2024 on the \_\_\_\_ day of Click or tap to enter a date. as \_\_\_\_\_.

Signed and sealed this \_\_\_\_ day of \_\_\_\_\_.

Mayor: \_\_\_\_\_

Clerk: \_\_\_\_\_



### Canadian Institute of Planners Certification

I certify that the attached City of St. John's Development Regulations Amendment Number 40, 2024 has been prepared in accordance with the requirements of the *Urban and Rural Planning Act, 2000*.

MCIP/FCIP: \_\_\_\_\_



Development Regulations/Amendment	
<b><u>REGISTERED</u></b>	
Number	_____
Date	_____
Signature	_____

## **CITY OF ST. JOHN'S**

### **Development Regulations Amendment Number 40, 2024**

#### **BACKGROUND**

The City of St. John's wishes to allow a Townhouse Cluster with a total of thirty-two (32) dwelling units at 188 New Pennywell Road. The subject property is currently within the Rural District and Zone, and the Residential District and Residential 1 (R1) Zone.

Therefore an amendment is required to rezone the property to the Residential 2 Cluster (R2C) Zone.

This amendment implements St. John's Municipal Plan Amendment 14, 2024, which is being processed concurrently.

#### **PUBLIC CONSULTATION**

The proposed Municipal Plan and Development Regulations amendment was advertised on four occasions in The Telegram newspaper on June 20, July 6, July 13, and July 20, 2024. A notice of the amendment was also mailed to property owners within 150 metres of the application site and posted on the City's website. Background information on the amendment is available at the Engage St. John's project page.

Feedback on the proposal has been mixed. Some are supportive of the project and feel that the development will be a good fit in the neighbourhood, while others have concerns that the development is too dense. Concerns were raised that the development will cause traffic congestion in the neighbourhood, however the application was reviewed by the City's Transportation Engineering Division and no concerns were raised. There are also concerns about the overall loss of trees. The proposed development meets the City's landscape requirements and existing trees will remain at the rear of the lots and dwellings were possible.

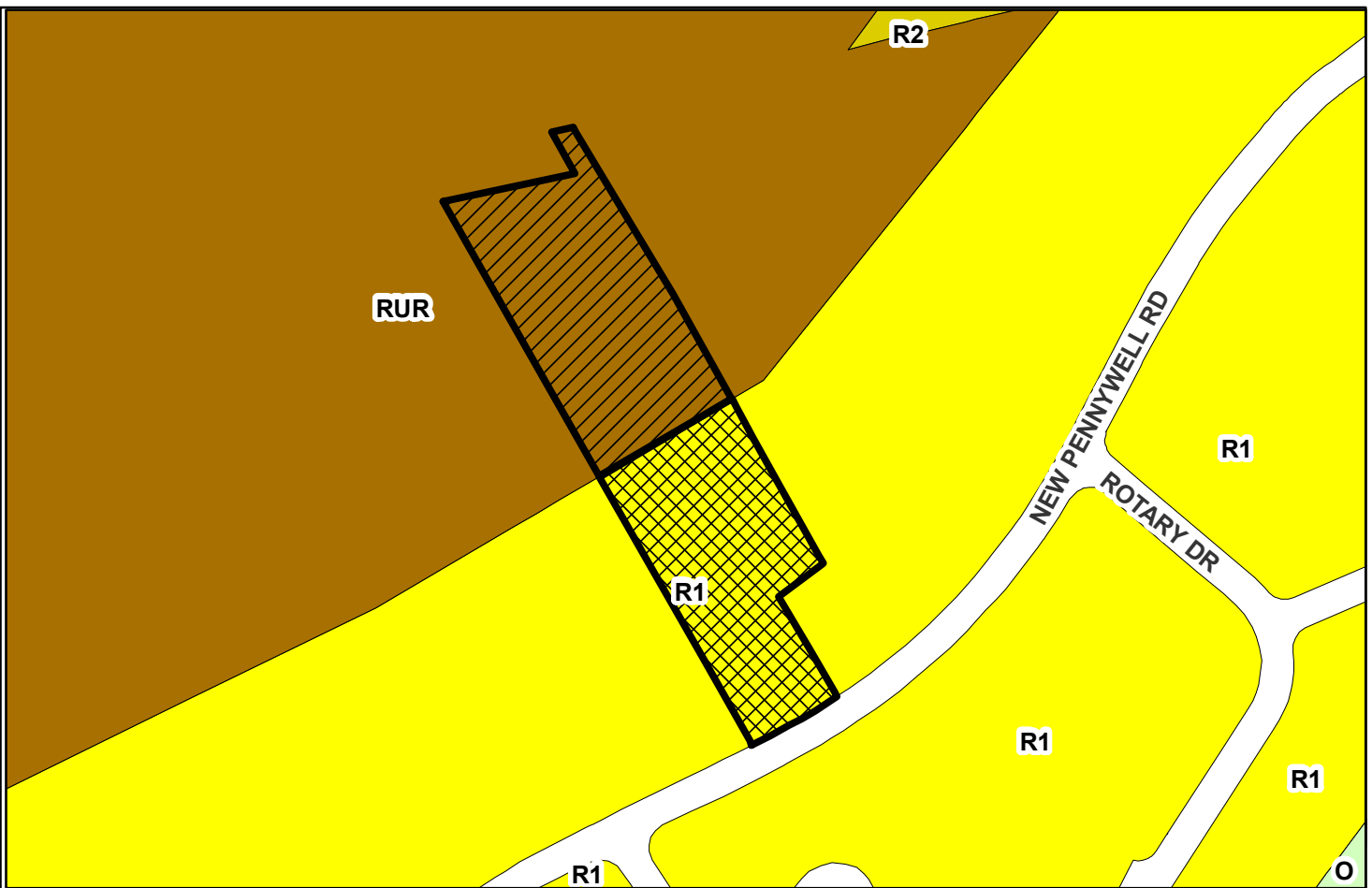
#### **ST. JOHN'S URBAN REGION REGIONAL PLAN**

The proposed amendment is in line with the St. John's Urban Region Regional Plan. The subject property is within the Urban Development designation of the Regional Plan. An amendment to the St. John's Urban Region Regional Plan is not required.

#### **ST. JOHN'S DEVELOPMENT REGULATIONS AMENDMENT NUMBER 40, 2024**

The St. John's Development Regulations, 2021 is amended by:

- 1. Rezoning land at 188 New Pennywell Road [Parcel ID# 21007] from the Residential 1 (R1) Zone and Rural (RUR) Zone to the Residential 2 Cluster (R2C) Zone as shown on City of St. John's Zoning Map attached.**

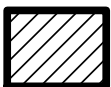


# CITY OF ST. JOHN'S DEVELOPMENT REGULATIONS Amendment No. 40, 2024

[City of St. John's Zoning Map]

2024 08 08 Scale: 1:2500  
City of St. John's  
Department of Planning, Development  
& Regulatory Services

I hereby certify that this amendment  
has been prepared in accordance with the  
Urban and Rural Planning Act.



AREA PROPOSED TO BE REZONED FROM  
RURAL (RUR) LAND USE ZONE TO  
RESIDENTIAL 2 CLUSTER (R2C) LAND USE ZONE



AREA PROPOSED TO BE REZONED FROM  
RESIDENTIAL 1 (R1) LAND USE ZONE TO  
RESIDENTIAL 2 CLUSTER (R2C) LAND USE ZONE

188 NEW PENNYWELL ROAD  
Parcel ID 21007

M.C.I.P. signature and seal

Mayor

City Clerk

Council Adoption

Development Regulations/Amendment

**REGISTERED**

Number \_\_\_\_\_

Date \_\_\_\_\_

Signature \_\_\_\_\_

Provincial Registration



Planning St. John's

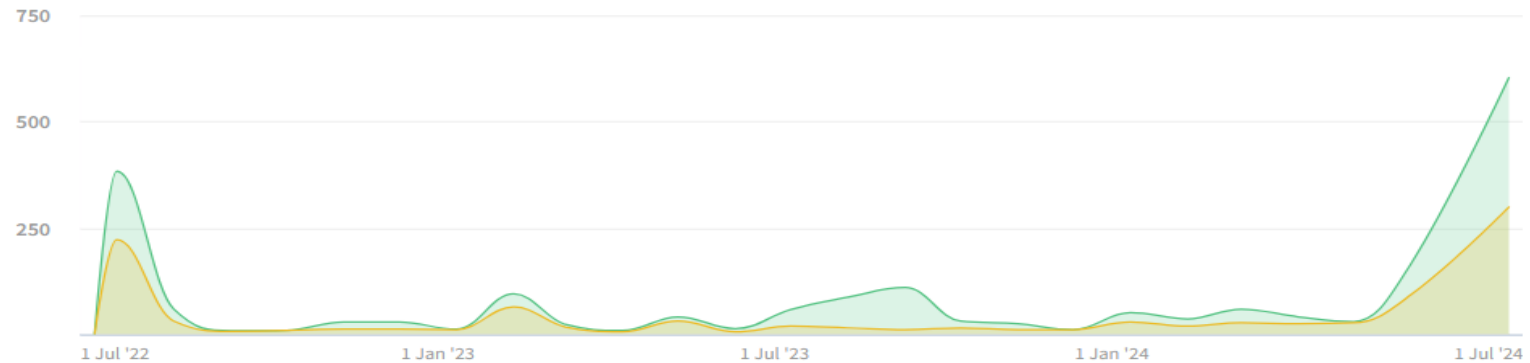
[EngageStJohns.ca](https://EngageStJohns.ca) Report

188 New Pennywell Road

## Visitors Summary

City Of St John's from 01 Jun'22 to 25 Jul'24

DAILY MONTHLY



July 2024

1



Types of visitors:

- Total visits: unique sessions (may be the same person visiting multiple times)
- Aware: visited at least one page
- Informed: has taken the "next step" from being aware and clicked on something
- Engaged: has contributed to a tool (comment or question)

Comments (verbatim)	What is your overall feedback of this application?
<p>'I love the design proposal and I feel it is a good fit for the neighbourhood. The only changes I would make are:</p> <ul style="list-style-type: none"><li>-I would move the site access road slightly closer to the houses so there is sufficient space for trees along the 207 property line.</li><li>-The City should ensure the street access is wide enough for it to link to future developments. For example, if Beothuck Street was extended along Brier Ave. This would be similar to the Fairweather Ave neighbourhood in Mount Pearl where the crescent supports townhouses and single units.</li><li>-The street access should also be wide enough to allow development along the rear of 207.</li><li>-I don't expect the landscaping to survive or add to the street scape after the first winter. I would propose the developer focus on planting trees along the rear of the properties and leave the</li></ul>	Support

frontage as grass. At most, planting a single maple tree between each parking zone would be more beneficial.	
Can they include a few smaller units, about 3-400 sq ft, which could entice single seniors to move out of their 3-4 bedroom house? Same idea as tiny homes but joined on both sides. Cheaper and faster to build.	Support
Great idea for denser housing. And it is close enough to walk to a grocery store and shopping. I don't know if it is on a bus stop and what the school bus situation is. But if public transport was accessible to this area, I'm happy	Support
There are a list of concerns introducing a denser occupancy in areas such as this area. Will the existing road accommodate an extra 60 plus vehicles, (depending on the household, many families now have two vehicles, for work purposes). (This development has 32 units). Will there be a reasonable cut back on trees and brush in the rural area. (as we have noticed an increase in wooded area fires, it would be proactive to plan for this). In the case of emergency response, due to the distance to the rear of the property is the development being designed not to dead end emergency vehicles, snow clearing or garbage vehicles. Also is the water supply in this area able to supply the increased residential use as well as the requirement for the fire load of this development. Are there areas allowed for snow clearing as not to impede normal use of parking	Support

<p>areas and accessibility. Will garbage be curbside or larger bins. If larger bins, are there appropriate areas for these bins with safe distances from the buildings. I am in support of these affordable housing projects as long as there are meeting all code requirements for the safety of the residents and should be in keeping with good ground maintenance procedures to give a positive feel to the neighborhood.</p>	
<p>Seems reasonable. New housing is needed.</p>	<p>Support</p>
<p>I have several concerns with this proposed development.</p> <ol style="list-style-type: none"> <li>1. This will make traffic significantly worse. There will only be 32 parking spaces for the 32 units? Where will visitors park, or will the residents not expect to have guests? The street is already full of vehicles parked on both sides of the road, and now you plan to increase this number. With the number of children living on this street, I have serious concerns with children crossing the street with the additional vehicles parked on the road reducing visibility. This doesn't take into account either that in winter, after a snow fall, the city only makes one pass for the first couple of days following a snow storm.</li> <li>2. Bus location- It is mentioned the distance to the bus stop is 800 metres, but it does not mention how it is downhill to the bus stop, and uphill on the way home. This is not an easy distance to the bus stop, especially for a building that will be built with seniors</li> </ol>	<p>Oppose</p>

<p>in mind. It will be very dangerous for any individuals to walk to and from the bus stop in the winter months.</p> <p>3. Threaten neighbourhood character- Excluding 3 New Pennywell Road which sits at the intersection of New Pennywell Road and the Brier Ave exit (one of the busiest exits in the city), the homes on New Pennywell Road are family orientated, detached or semi-detached. This housing proposal will stand out like a sore thumb on this street.</p> <p>4. This proposal is for affordable senior living, however there are a lack of amenities close by for seniors. New Pennywell Road is a hill and where many seniors struggle with mobility issues, this is not the ideal location for this build.</p> <p>5. There is already a concentration of affordable units on New Pennywell Road. The city should consider mixing of social-economic builds throughout the city, so you don't have pockets of lower incomes individuals. By concentrating affordable housing in one area, you end up getting a reputation like Buckmaster Circle had in the 1980's.</p>	
<p>I'm concerned with the loss of trees and permanent green spaces that is becoming a constant in this city. Nature is important for a host of scientific retains including health sciences. But it's also important as it is one of the key things that makes this city descent to view from any angel as you go about your day to day - the nature within and surrounding/framing the city. It's disappearing bit by bit and that's problematic environmentally, health &amp; wellness</p>	<p>Oppose</p>

and economically for other resins including tourism. All of these are connected. We need to keep as much raw nature areas, large green spaces and trees everywhere. This proposal indicates that another large green nature area will be mowed down by a developer. That's not ok anywhere. Thank you.	
<p>I am happy to see seniors housing but would like to know if this is "affordable" housing. If it is, who determines what "affordable" is and who monitors it?</p> <p>I think it needs some visitor parking.</p> <p>It needs more snow storage space.</p> <p>What is the "look" of the houses?</p> <p>I would like to see the detailed housing design.</p> <p>Are 2 bins enough for garbage? This needs to be monitored.</p>	Mixed
<p>I think this is a great idea, we have a housing shortage in this city. Maybe check what the rent they plan to charge. If its more unaffordable condos or rentals then it will not be helpful.</p>	Mixed
<p>If this is for affordable housing then I support it. I worry that there isn't enough services within walking distance. Most people that need housing right now do not have a car, and it is silly to plan anything moving forward that requires a car since the car market is so incredibly expensive and doesnt show signs of getting cheaper.</p>	Mixed

Public Q&A Question (verbatim)	Public Response
Is this development for seniors	The applicant has indicated that they would like to advertise the development toward seniors.
Has the local community been poled to ascertain their thoughts on this development. The current townhouse design may cause concerns for property values of the surrounding homes.	The applicant is currently preparing a Land Use Report, which will provide the City with additional information on the development. The applicant is responsible for conducting consultation with the adjacent property owners prior to submitting the report. Once the report is complete and reviewed by staff, the City will also hold a public meeting to gain input on the application.
Has this project been approved. Can you send me a copy of the buildings layout on the land. Will they be for sale or rent only.	This application has not been approved and is currently going through the rezoning process. More information on the application will be available in the applicant's Land Use Report (LUR). Once the LUR is completed, it will be made available prior to public consultation.



<p>With the low number of parking spaces for this development, will public transit be made more widely accessible on New Pennywell Road?</p>	<p>Thank you for your question. The applicant is currently working on the required Land Use Report. The Land Use Report will be made publicly available once it is complete, prior to public consultation and will state the proposed number of parking spaces to be provided. From the City's Development Regulations for a Townhouse Cluster, a minimum of one parking space is required per Dwelling Unit and the maximum varies from 1.5 to 2.0 per Dwelling Unit depending on the number bedrooms in the Dwelling Unit. Should the applicant wish to provide a different number, a Parking Report and Council approval is required.</p>
<p>Re: 188 New Penneywell Road I find his neighborhood survey to be fraught with suspicion. The City needs to do its own survey of the neighbors!</p>	<p>Thank you for your feedback. The City is gathering feedback from this public consultation and it will be presented to Council prior to Council making a decision. A Municipal Plan amendment is required for the proposed development, so a Commissioner's</p>

	Public Hearing will also be held at a later date.
Can I get a copy of the "Artist Drawings/Visual" attachment #3. It does not seem to appear in the document included Draft Land Use? Thanks	Thank you for your comment and observation. The draft elevations have been added under Documents.
Maybe I missed it but what will be used for heating these units? Will it be an efficient heat pump system that will provide both heating & cooling? I feel this is a necessary component to this development.	Thank you for your question. That level of detail hasn't been evaluated at this stage. The City will pass along your comment to the applicant for consideration.

**Karen Chafe**

---

**From:** [REDACTED]  
**Sent:** Tuesday, July 2, 2024 6:33 PM  
**To:** CityClerk  
**Subject:** 188 New Pennywell Rd

You don't often get email from [REDACTED]. [Learn why this is important](#)

**CAUTION:** This is an EXTERNAL email. Do not click on any link, open any attachments, or action a QR code unless you recognize the sender and have confirmed that the content is valid. If you are suspicious of the message use the **Report a Phish** button to report it.

Hopefully this project will move along quickly as there is such a great need for affordable senior housing in the City.

## Karen Chafe

---

**From:** [REDACTED]  
**Sent:** Monday, July 15, 2024 2:54 PM  
**To:** CityClerk  
**Subject:** Comments on an application from Nidus Development Inc. to rezone property at 188 New Pennywell Road

You don't often get email from [REDACTED] [Learn why this is important](#)

**CAUTION:** This is an EXTERNAL email. Do not click on any link, open any attachments, or action a QR code unless you recognize the sender and have confirmed that the content is valid. If you are suspicious of the message use the **Report a Phish** button to report it.

Good afternoon Ms. Chafe,

Re: The Above

The applicant is proposing four Townhouse Clusters/buildings that will contain between 8 dwelling units in each cluster, for a total of 32 units.

I recently drove up to have a look at this parcel of land.

- are these units definitely for senior use only

- looking at the property width and the proposed usage of space it would appear to result in a rather congested area for 32 housing units with 32 parking areas (also, will there be any parking for family visitors)

- while a 10 to 15 minutes walk to the closest bus route would seem reasonable for the majority of riders, a closer bus stop would seem appropriate given this development appears to have been chosen for seniors and will house at least 32 (or up to 64) seniors through all four seasons

- hard Surface 70% maximum... this will definitely reduce ground absorption of rooftop runoff and melting snow

- with reference to ... 'All existing trees to remain where practical.' ... leaves a broad interpretation
- with reference to ... 'The covered front overhang also helps reduce the need for mechanical snow removal in winter months.' Wind being a big weather feature here in NL causes snow drifts during storms and accumulate in various areas during regular snowfalls resulting in the need to keep door entrances clear. Does snow clearing include clearing entry ways to each senior unit?
- are these rental or ownership properties
- condo living involves monthly/yearly maintenance fees which are increased as needed ... this has a negative effect on persons with low and/or fixed incomes
- commercial buildings may require sprinkling systems yet it seems reasonable to think new buildings for seniors (or for that matter any new multi attached dwellings) should also include sprinklers
- given possibility of senior hearing deficiency, and slower or impaired mobility, a smoke alarm may alert occupants of the fire danger present only if it is heard and it does nothing to protect the property and/or keep the fire from spreading to other units
- given the city's role involves giving approval and, at times, rezoning of property it should be plausible a mechanism be developed whereby developers and/or purchasers be required to give a guarantee of 'affordable' housing based on a benchmark selling price particularly given our large homeless population and those living on a fixed income
- home development approval and transport/road development support systems should be twin requirements [hopefully St. John's will not follow many other Canadian cities (ie Toronto for one) having failed to take this seriously resulting in excessive vehicle congestion and later the need to close roads for extended periods of time (causing further problems) in order to modify roads to accommodate the 'after the fact' problems of housing developments]

I thank you for this community engagement opportunity.

Sincerely,

## Karen Chafe

---

**From:** [REDACTED]  
**Sent:** Thursday, June 27, 2024 8:00 PM  
**To:** CityClerk  
**Subject:** 188 new Pennywell Road

[You don't often get email from [REDACTED]. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification> ]

CAUTION: This is an EXTERNAL email. Do not click on any link, open any attachments, or action a QR code unless you recognize the sender and have confirmed that the content is valid. If you are suspicious of the message use the Report a Phish button to report it.

I live [REDACTED] but I know this area well... I think it's a bad idea. We talk about preserving our green space and being environmentally friendly.... The area between Pennywell Road and Empire Avenue serves as a green space for many animals.. It's a Haven for many species of birds. Also, there are many wetlands in the area and as you know, or should know is a habitat for many animals as well as it helps prevent flooding.... I think you should definitely reconsider this and it should not be allowed.... there are more important things in life than construction. There are other areas and many buildings that have been abandoned... [REDACTED]

# DECISION/DIRECTION NOTE

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**Title:** 242 Danny Drive – REZ2400018

**Date Prepared:** August 27, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Tom Davis, Planning

**Ward:** Ward 5

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## **Decision/Direction Required:**

To consider rezoning select properties along Danny Drive from the Industrial General (IG) Zone to the Industrial Commercial (IC) Zone for Retail Use.

## **Discussion – Background and Current Status:**

The City has received an application from Atlantic Trailer and Equipment Ltd. to rezone land at 242 Danny Drive from the Industrial General (IG) Zone to the Industrial Commercial (IC) Zone for a Retail Use. The proposed building will contain a show room, offices, repair garage and storage. Under the IG Zone, Retail Use is not a listed use and therefore a rezoning is required. Retail Use is a discretionary use within the IC Zone. The property is within the Urban Expansion District and therefore a Municipal Plan amendment is not required.

This general area was rezoned to the IG Zone in 2015 as part of an industrial park within the Glencrest (now called Galway) development. At that time, it was envisioned that the land would be used for heavy industry. As the development has proceeded, light industrial and retail uses have been proposed.

While this initial rezoning was prompted by the application at 242 Danny Drive, staff recognize that, given the evolution of industrial development in this area, other property owners may wish to enable Retail Use and other light industrial uses on their properties. The City asked property owners along Danny Drive if they would like to be included in this rezoning. The City received a request to include 215 Danny Drive, 223 Danny Drive, and 250 Beaumont Hamel Way in this rezoning (see attached). Should the rezoning proceed, the majority of the east side of Danny Drive would be considered for rezoning to the IC Zone along with 242 Danny Drive.

## Alignment with Envision St. John's Municipal Plan Policies

Section 5.1.3 of the Municipal Plan recognizes the importance of industrial lands, such as manufacturing, warehousing and processing, as contributors to a diverse economy, and ensures an appropriate supply of lands and infrastructure is available to support such uses. Further, Section 5.1.4 states that industrial lands should be located where there is direct and convenient access to the regional transportation network, such as highways, the port or the airport. The proposed rezoning meets these policies.

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The subject properties are within the Urban Expansion District. As per Section 8.15, a Comprehensive Development Plan must be prepared and approved by Council prior to development of Urban Expansion Areas. As well, lands identified for future urban development in Kilbride, Southlands, Galway and Kenmount Road areas shall have the potential to be developed for a range of land uses utilizing municipal water and sewer services. The City has already approved the Comprehensive Plan for the Galway area. As the proposed change is in line with the Comprehensive Plan, the proposed rezoning agrees with the District policies.

Section 4.9(2)(a) of the Development Regulations requires a Land Use Report (LUR) for rezonings. However, as per Section 4.9(3), where the scale or circumstances of the proposed development do not merit a full LUR, Council may accept a staff report. As the proposed rezoning is going from a heavy-industrial zone to a light-industrial zone that is in line with the Comprehensive Plan for this area, staff recommend that Council accept a staff report in lieu of an LUR. The staff report will be brought to Council later should the rezoning proceed.

Section 6.10 of the Development Regulations limits the building height of commercial garages to 6 metres. However, given the equipment and lifts typically used, a higher height is often required. As part of this amendment, staff recommend removing this reference to building height from Section 6.10. Building height for commercial garages can be regulated in each land-use zone.

#### Public Consultation

Should Council consider this amendment, staff recommend public notification in accordance with Section 4.8 of the Development Regulations. Following consultation, the amendment will be brought back to Council for consideration. In addition to advertising the zone amendment, we would also advertise the proposed Retail Use at 242 Danny Drive, which would become a discretionary use.

#### **Key Considerations/Implications:**

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Neighbouring residents and property owners.
3. Is this a New Plan or Strategy: No
4. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

A Sustainable City: Facilitate and create the conditions that drive the economy by being business and industry friendly; and being a location of choice for residents, businesses and visitors.

5. Alignment with Adopted Plans: Envision St. John's Municipal Plan and Development Regulations.
6. Accessibility and Inclusion: Not applicable.
4. Legal or Policy Implications: A text and map (rezoning) amendment is required.
5. Privacy Implications: Not applicable.
6. Engagement and Communications Considerations: Public consultation will be carried out in accordance with Section 4.8 of the Development Regulations.
7. Human Resource Implications: Not applicable.
8. Procurement Implications: Not applicable.
9. Information Technology Implications: Not applicable.
10. Other Implications: Not applicable.

**Recommendation:**

That Council:

- (1) consider amending Section 6.10 of the Development Regulations to remove reference to commercial garage building height;
- (2) consider rezoning properties at 215 Danny Drive, 223 Danny Drive, 242 Danny Drive and 250 Beaumont Hamel Way from the Industrial General (IG) Zone to the Industrial Commercial (IC) Zone, and advertise the amendment for public review and comment; and
- (3) advertise the Retail Use as a discretionary use at 242 Danny Drive.

**Prepared by: Ann-Marie Cashin, MCIP, Planner III**

**Approved by: Ken O'Brien, MCIP, Chief Municipal Planner**

**Report Approval Details**

Document Title:	242 Danny Drive - REZ2400018.docx
Attachments:	- 242 Danny Drive - Aerial.pdf - 242 Danny Drive - Site Plan.pdf - Danny Drive - Additional Properties to Rezone.pdf
Final Approval Date:	Aug 29, 2024

This report and all of its attachments were approved and signed as outlined below:

**Ken O'Brien - Aug 28, 2024 - 2:56 PM**

**Jason Sinyard - Aug 29, 2024 - 9:35 AM**

MW

TRANS CANADA HWY

TRANS CANADA HWY

SUBJECT PROPERTY

234

IG

IG

242

DANNY DR

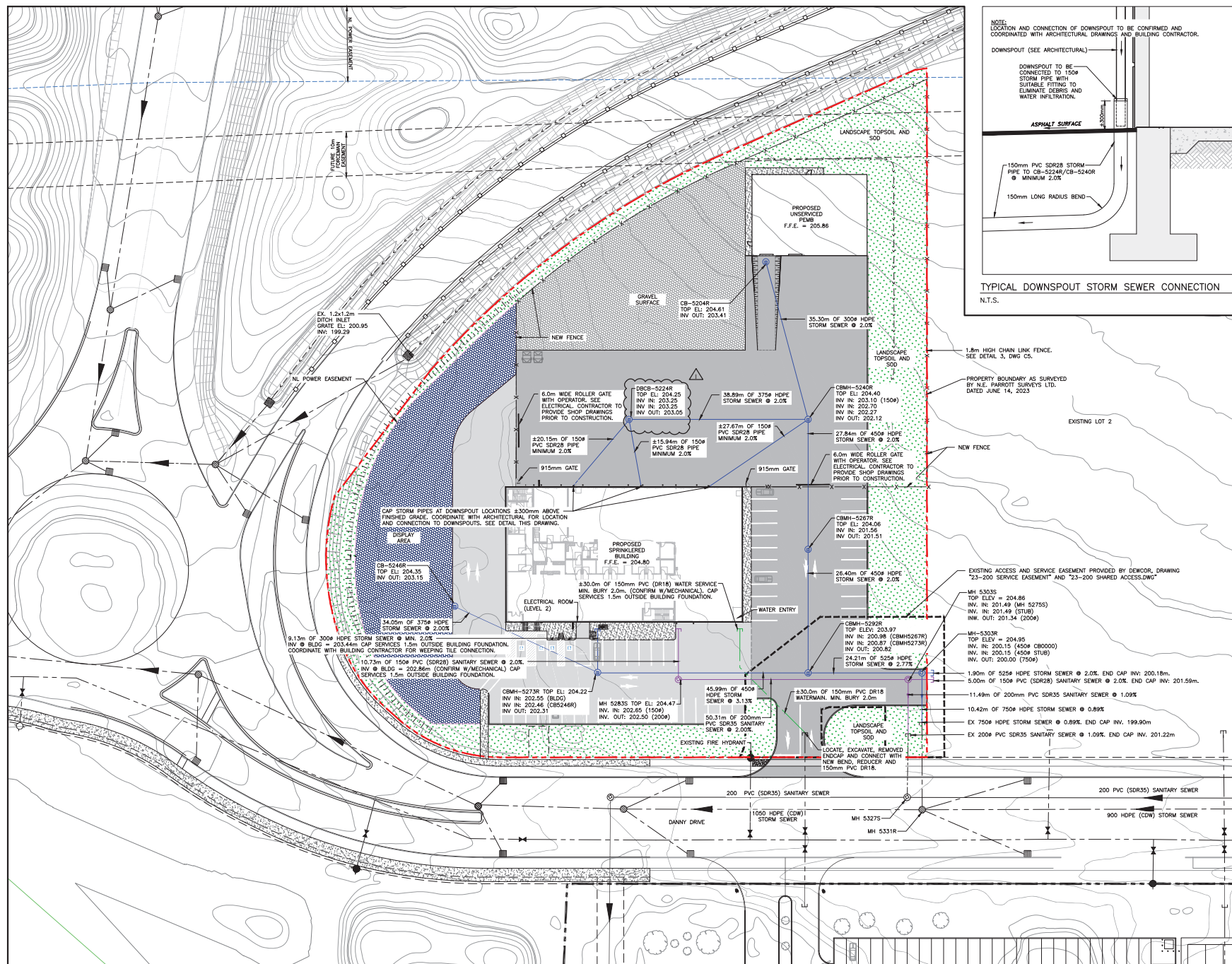
IG

DANNY DR

CDA8

108





STORM MANHOLE COORDINATES (m)			
COORDINATE TAKEN FROM CENTER OF STRUCTURE			
WH#	EASTING	NORTHING	
CB-5246R	315246.256	5261772.538	
CBM#-5237R	315273.759	5261735.623	
CBM#-5229R	315292.913	5261839.016	
WH#-5403R	315303.224	5261862.510	
CBM#-5267R	315267.415	5261850.207	
CBM#-5242R	315240.592	5261861.979	
CB-5234R	315224.381	5261825.040	
CB-5204R	315204.256	5261807.632	

SANITARY MANHOLE COORDINATES (m)			
COORDINATE TAKEN FROM CENTER OF STRUCTURE			
WH#	EASTING	NORTHING	
MH#5235	315282.545	5261811.659	
MH#5335	315303.348	5261859.060	

L	REVISED FC AS PER CITY REVIEW COMMENTS MAY 30, 2024	RP	03/05/24
H	REVISED FC AS PER CITY REVIEW COMMENTS APRIL 8, 2024	RP	17/04/24
G	ISSUED FOR CONSTRUCTION	RP	03/04/24
F	ISSUED FOR ADDENDUM 2	RP	21/03/24
E	ISSUED FOR ADDENDUM 1	RP	28/02/24
D	ISSUED FOR TENDER	RP	26/02/24
C	REVISED ADJUNCT LOT ACCESS AND BARRIER FREE PARKING	RP	20/02/24
B	ISSUED FOR APPROVAL	RP	11/01/24
A	ISSUED FOR 50% REVIEW	RP	04/01/23
No.	DESCRIPTION	BY	DD/MM/YY

### REVISIONS

PROVINCE OF NEWFOUNDLAND AND LABRADOR  
**ENGINEERING PERMIT F0249**

**MAE DESIGN LIMITED**

MRC NO: 02778

Signature or Number Number  
 (Member/In-Responsible Charge)

STATE

REGISTERED PROFESSIONAL ENGINEER  
**ROBIN SUMMERS**  
 REGISTRAR  
 MAY 30, 2024  
 OFFICE OF THE REGISTRAR  
 DEPT. OF SECTOR SERVICES

**MAE Design Limited**  
*corporate and commercial engineering*

TEL (709) 834-1554 FAX (709) 834-1558

CIVIL CONSULTANT

ENGINEERING

DRAWN BY: R. PIKE

CHECKED BY: R. SUMMERS

APPROVED BY: R. SUMMERS

PROJECT

DETAIL NO.  
 DRAWING NO. WHERE DETAIL REQUIRED  
 DRAWING NO. WHERE DETAILLED

**A B C**

**SITE DEVELOPMENT**

**ATLANTIC TRAILER**

**AND EQUIPMENT**

**242 DANNY DRIVE**

**ST. JOHN'S, NL**

**SITE SERVICING PLAN**

PROJECT No.  
**2023.090**

DRAWING No.  
**C1**





TRANS CANADA HIGHWAY

CIVIC # 234

CIVIC # 226

CIVIC # 222

CIVIC # 218

CIVIC No. 200  
AREA = 14.606ha.

DANNY DRIVE

CIVIC # 235

CIVIC No. 223  
AREA = 6.512ha.

FUTURE BEAUMONT HAMEL WAY

CIVIC No. 215  
AREA = 6.4924ha.

CIVIC No. 250  
AREA = 2.141ha.

PROTECTED NATURAL AREA  
PARCEL "PNA-3"

PROTECTED NATURAL AREA  
PARCEL "PNA-4"

LEGEND:

EXISTING ZONES  
IG  
CDA

NEW ZONES  
INST

(REZONE 141369m<sup>2</sup>  
FROM IG TO IG)

0 10 20 30 40 50m

GALWAY  
**Business**  
CENTRE

REZONING PLAN

Date: 15 AUGUST 2024  
Scale: N.T.S.

DSK-537



# DECISION/DIRECTION NOTE

**Title:** SERC - 2024 Fall Events 1

**Date Prepared:** August 28, 2024

**Report To:** Regular Meeting of Council

**Councillor and Role:** Councillor Jill Bruce, Cruise and Special Events

**Ward:** N/A

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**Decision/Direction Required:** Seeking Council approval of road closures associated with the Uniformed Services Run/Provincial Marathon on September 8, Terry Fox Run on September 15, Battle of Britain Parade on September 15, and the Gower Street Churches block party on September 22 (inclement weather date of September 29), as well as a noise by-law extension for the George Street Back to School Bash on September 13.

## **Discussion – Background and Current Status:**

**Uniformed Services Run/Provincial Marathon** – Scheduled to take place on Sunday September 8 beginning at 7:00am and finishing at 1:00pm. All roads will be opened after the last runners. The start/finish for this event will take place in Bowring Park. The route will take runners to Quidi Vidi and back to Bowring Park. To accommodate runner safety, there will be several lane restrictions and road closures in place.

### Road closures:

- Southside Road, eastbound, from Old Bay Bulls Road to Blackhead Road, 7:00am – 10:40am.
- Hillview Drive West, 7:30am – 7:50am.
- Harbour Drive, eastbound, 7:15am – 11:00am.
- Water Street, both directions, from Prescott Street to Cochrane Street, 7:15am – 12:00pm.
- Water Street, eastbound, from Offshore Base to Temperance Street, 7:15am – 11:00am.
- Temperance Street, both directions, 7:15am – 12:00pm.
- Quidi Vidi Road, both directions, from Duckworth Street to Plymouth Road, 7:15am – 12:00pm.
- Empire Avenue, both directions, from Quidi Vidi Road to Forest Road, 7:15am – 12:00pm.
- Empire Avenue, westbound, from Forest Road to Kingsbridge Road, 7:15am – 11:15am.
- Lake Avenue, eastbound, from 7:15am – 11:15am.
- Carnell Drive, northbound, 7:15am – 11:15am.

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- The Boulevard, eastbound, from Carnell Drive to Quidi Vidi Village Road, 7:30am – 11:30am.
- Quidi Vidi Village Road, westbound, from The Boulevard to Forest Road, 7:30am – 11:30am.
- Forest Road, westbound, from Quidi Vidi Village Road to Empire Avenue, 7:30am – 11:45am.
- Water Street, westbound, from Prescott Street to Waldegrave Street, 7:45am – 12:15pm.
- Waterford Bridge Road, westbound, from Water Street to Cowan Avenue, 7:45am – 1:00pm.
- Park Road, southbound, from Waterford Bridge Road to Squires Avenue, 7:45am – 1:00pm.

**Terry Fox Run** – Scheduled to take place on September 15 around Quidi Vidi Lake. The organizers are requesting the closure of Clancey Drive from Carnell Drive to Lakeview Avenue, and Lakeview Avenue to Forest Road, from 9:00am – 11:00am.

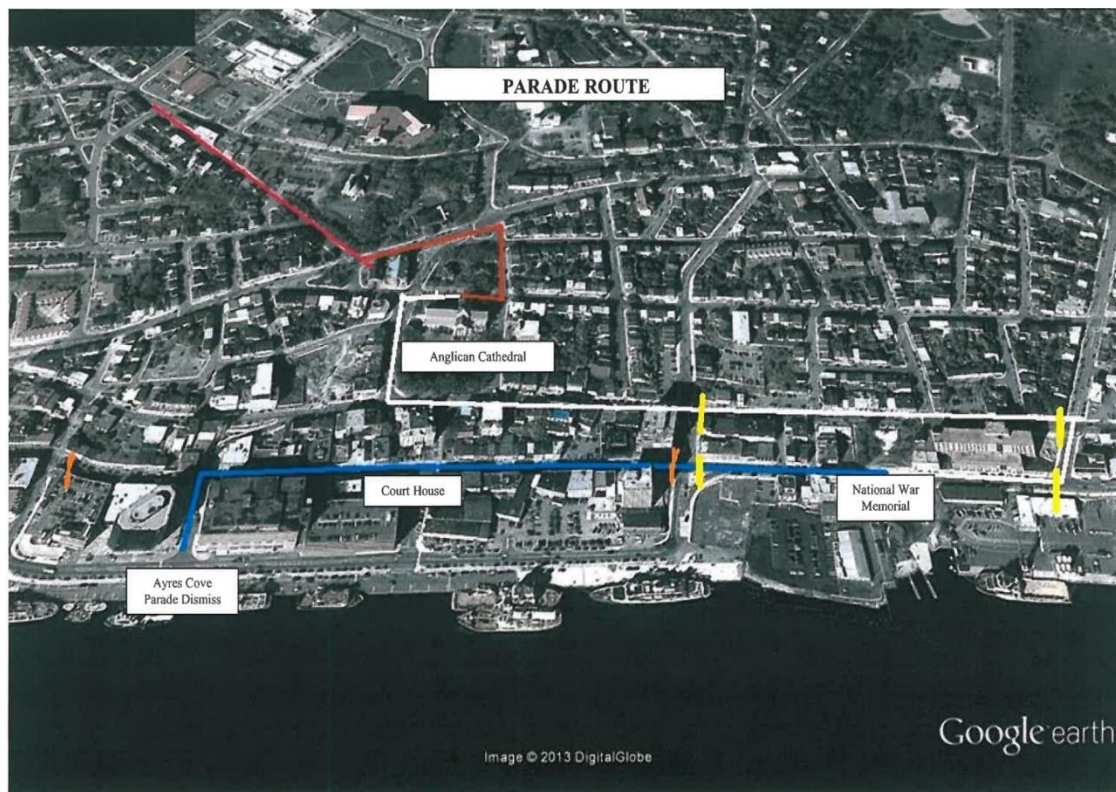


**Battle of Britain Parade** - Scheduled to take place on Sunday September 15. Road closures will be implemented by RNC and Military Police.

**Road closures:**

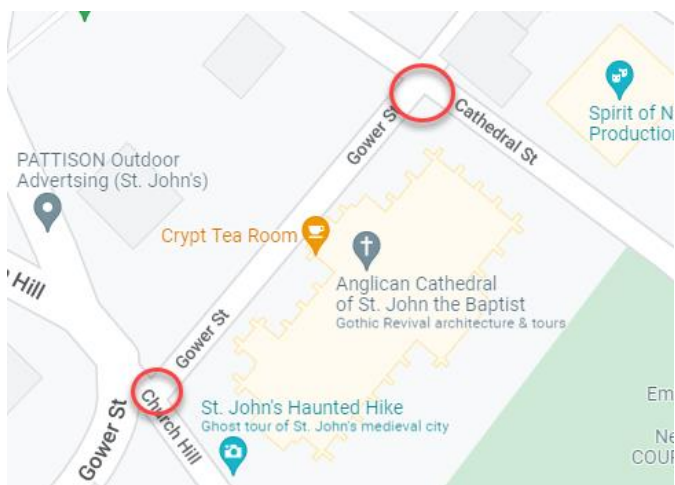
- Rolling closure from CLB Armory to the Anglican Cathedral on Church Hill, 10:30am – 11:30am.
- Rolling closure from Gower Street at Church Hill, to Duckworth Street, to Cochrane Street, to Water Street, end at the National War Memorial, 12:00pm – 12:20pm.
- Full road closure on Duckworth Street and Water Street from Prescott Street to Cochrane Street, 11:30am – 1:15pm.
- Closure of Water Street, from Prescott Street to Becks Cove, 1:00pm – 1:30pm.
- This approval is pending the submission and approval of a finalized traffic plan to our City traffic division.





**Gower Street Churches Block Party** – Schedule to take place on September 22 (with a rain date of September 29).

- A block party organized by the four churches in the area.
- They are requesting to close Gower Street, from Cathedral Street to Church Hill from 10:00am – 3:00pm.
- Volunteers will be positioned on barricades.



**George Street Association Back to School Bash** - Scheduled to take place on Friday September 13.

- George Street Association are requesting a noise by-law extension until 12:00am.

**Key Considerations/Implications:**

1. Budget/Financial Implications: N/A

2. Partners or Other Stakeholders: RNC, George Street Association.

3. Is this a New Plan or Strategy: No

If yes, are there recommendations or actions that require progress reporting?

If yes, how will progress be reported? (e.g.: through the strategic plan, through Cascade, annual update to Council, etc.)

4. Alignment with Strategic Directions:

A Connected City: Increase and improve opportunities for residents to connect with each other and the City.

5. Alignment with Adopted Plans: N/A

6. Accessibility and Inclusion: N/A

4. Legal or Policy Implications: N/A

5. Privacy Implications: N/A

6. Engagement and Communications Considerations: Residents will be notified of road closures through a public advisory.

7. Human Resource Implications: N/A

8. Procurement Implications: N/A

9. Information Technology Implications: N/A

10. Other Implications: N/A

**Recommendation:**

That Council approve road closures associated with the Uniformed Services Run/Provincial Marathon on September 8, Terry Fox Run on September 15, Battle of Britain Parade on September 15, and the Gower Street Churches block party on September 22 (inclement weather date of September 29), as well as a noise by-law extension for the George Street Back to School Bash on September 13.

**Prepared by:** Christa Norman, Special Projects Coordinator

**Approved by:** Erin Skinner, Manager of Tourism, Culture, and Events



**Report Approval Details**

Document Title:	SERC - 2024 Fall Events 1.docx
Attachments:	
Final Approval Date:	Aug 28, 2024

This report and all of its attachments were approved and signed as outlined below:

**Erin Skinner - Aug 28, 2024 - 12:25 PM**

**Tanya Haywood - Aug 28, 2024 - 12:57 PM**

# INFORMATION NOTE

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<b>Title:</b>	<b>Municipal Open House Event</b>
<b>Date Prepared:</b>	August 28, 2024
<b>Report To:</b>	<b>Regular Council Meeting</b>
<b>Councillor and Role:</b>	Councillor Jill Bruce, Community Services and Special Events
<b>Ward:</b>	N/A

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**Issue:** The City of St. John's is hosting an Open House Event taking place on Sunday, September 15, 2024, in which residents can visit various city departments during the hours of 10a.m.-1 p.m.

## **Discussion – Background and Current Status:**

City buildings have hosted open house events or have been involved with other larger events, in the past, such as example Doors Open. These events have been popular with residents but have their limitations.

City staff have created this annual event to showcase select city buildings and facilities and given residents and visitors an inside look at these sites and the services the city offers. Various city departments are working together to promote their individual open houses into a larger more marketable event.

There are currently 6 City facilities that will be taking part in this event. It is a free family friendly event open to all ages. The event is promoted in the fall City guide, website, and on the City's social media channels.

Participating sites include:

### **Animal Care and Adoption Centre**

Visit the Animal Care and Adoption Centre for this guided tour where our attentive staff care for and support our furry friends. Staff will have hankies for dogs, a treat table and a mock surgery set up for visitors to experience. Licensing fees will be waived during the event.

### **City Archives**

Learn about the rich history of our city at the archives building, where fascinating stories and archived histories await in this guided tour. Visitors will have the opportunity to experience archival documents: maps, photographs, ledgers, council minutes; and get a behind the scenes peek at the archival stacks.

### **Visitor Information Centre**

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Stop by and visit our knowledgeable and friendly staff for tips on exploring our vibrant city in this self-guided tour. Our staff are happy to provide tourist information and trip planning assistance.

### **Robin Hood Bay Recycling Facility**

Do you know what happens to your recycling after you place it at the curb? In this region, recycling is collected, sorted and bundled for new markets in the Materials Recovery (recycling) Facility at the Robin Hood Bay Waste Management Facility. Come join this guided tour and find out what happens to your curbside recycling and meet the staff that sort it!

### **City Hall**

Join us for this self-guided tour of City Hall, including Council Chambers and the civic art in the Great Hall. You will have the opportunity to sit in the mayoral chair, learn about the council meeting process and see the mace.

### **Central Fire Station**

Meet the brave firefighters of the fire department, who work tirelessly to keep our community safe. You will learn about fire safety and have the opportunity to get your photo taken in one of the fire trucks on this self-guided tour.

### **Key Considerations/Implications:**

1. Budget/Financial Implications: minimal

2. Partners or Other Stakeholders:

3. Alignment with Strategic Directions:

A Connected City: Increase and improve opportunities for residents to connect with each other and the City.

A Connected City: Develop and deliver programs, services and public spaces that build safe, healthy and vibrant communities.

4. Alignment with Adopted Plans:

5. Accessibility and Inclusion: All venues have accessible parking and washrooms, are mobility device accessible, and the main entrances will be marked by signage.

For local Metrobus transportation and accessible public transportation routes to these venues, please visit [metrobus.com](https://metrobus.com).



The City of St. John's strives to create accessible and inclusive programs and services where possible. To request accommodations, learn more, or provide feedback or suggestions, please call 709-576-4450 or email [inclusion@stjohns.ca](mailto:inclusion@stjohns.ca).

- 6. Legal or Policy Implications:
- 7. Privacy Implications:
- 8. Engagement and Communications Considerations:
- 9. Human Resource Implications: Staff required at each site.
- 10. Procurement Implications:
- 11. Information Technology Implications:
- 12. Other Implications:

**Conclusion/Next Steps:**

The intent is to move this event in the future to be hosted during Municipal Awareness week every year, which will be Sunday, May 4<sup>th</sup>, 2025.