

ST. JOHN'S

Regular Meeting - City Council Agenda

August 7, 2023

3:00 p.m.

4th Floor City Hall

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ST. JOHN'S

Minutes of Regular Meeting - City Council Council Chamber, 4th Floor, City Hall

July 24, 2023, 3:00 p.m.

Present: Mayor Danny Breen
Deputy Mayor Sheilagh O'Leary
Councillor Ron Ellsworth
Councillor Sandy Hickman
Councillor Jill Bruce
Councillor Jamie Korab
Councillor Ian Froude
Councillor Carl Ridgeley

Regrets: Councillor Maggie Burton
Councillor Debbie Hanlon
Councillor Ophelia Ravencroft

Staff: Kevin Breen, City Manager
Derek Coffey, Deputy City Manager of Finance & Administration
Tanya Haywood, Deputy City Manager of Community Services
Jason Sinyard, Deputy City Manager of Planning, Engineering & Regulatory Services
Lynnann Winsor, Deputy City Manager of Public Works
Cheryl Mullett, City Solicitor
Karen Chafe, City Clerk
Susan Bonnell, Manager, Communications & Office Services
Christine Carter, Legislative Assistant

Land Acknowledgement

The following statement was read into the record:

“We respectfully acknowledge the Province of Newfoundland & Labrador, of which the City of St. John’s is the capital City, as the ancestral homelands of the Beothuk. Today, these lands are home to a diverse population of Indigenous and other peoples. We would also like to acknowledge with respect the diverse histories and cultures of the Mi’kmaq, Innu, Inuit, and Southern Inuit of this Province.”

1. **CALL TO ORDER**

Mayor Danny Breen called the meeting to order at 3:00 pm.

2. **PROCLAMATIONS/PRESENTATIONS**

3. **APPROVAL OF THE AGENDA**

3.1 **Adoption of Agenda**

SJMC-R-2023-07-24/320

Moved By Councillor Bruce

Seconded By Deputy Mayor O'Leary

That the Agenda be adopted as presented.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

4. **ADOPTION OF THE MINUTES**

4.1 **Minutes of July 11, 2023**

SJMC-R-2023-07-24/321

Moved By Councillor Froude

Seconded By Councillor Hickman

That the minutes of July 11, 2023, are accepted as presented.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

5. **BUSINESS ARISING FROM THE MINUTES**

6. **DEVELOPMENT APPLICATIONS**

6.1 **Notices Published – 322 Thorburn Road - DEV2300053**

SJMC-R-2023-07-24/322

Moved By Councillor Korab

Seconded By Councillor Ellsworth

That Council approve the Discretionary Use application at 322 Thorburn Road to allow an Agriculture Use and Horticulture Use for a hobby farm.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.2 Notices Published – 626 Southside Road - DEV2300065

SJMC-R-2023-07-24/323

Moved By Councillor Korab

Seconded By Councillor Ridgeley

That Council approve the change of Non-Conforming Use application at 626 Southside Road to allow a Retail Use and deli (take-out).

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.3 Request for Parking Relief – 340 LeMarchant Road – DEV2300006

SJMC-R-2023-07-24/324

Moved By Councillor Korab

Seconded By Deputy Mayor O'Leary

That Council relieve ten (10) parking spaces at 340 LeMarchant Road to allow the building redevelopment for Choices for Youth's Training School, Offices and Retail Uses.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.4 Notices Published – 450 Water Street - DEV2300071

SJMC-R-2023-07-24/325

Moved By Councillor Korab

Seconded By Councillor Hickman

That Council approve the Discretionary Use application for a Dwelling Unit on the 1st storey at 450 Water Street.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.5 Notices Published – 59 Duckworth Street - DEV2300057

SJMC-R-2023-07-24/326

Moved By Councillor Korab

Seconded By Deputy Mayor O'Leary

That Council approve the Discretionary Use application for a Heritage Use to convert the 1st floor into 2 Dwelling Units at 59 Duckworth Street, which is a designated Heritage Building.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.6 Notices Published – 502 Topsail Road - DEV2300061

SJMC-R-2023-07-24/327

Moved By Councillor Korab

Seconded By Councillor Ellsworth

That Council approve the Discretionary Use application at 502 Topsail Road to allow an outdoor eating area and Lounge and limit the hours of operation from 10 a.m. until 11 p.m., which aligns with hours of operation for other parklets and patios in the City. No outdoor speakers will be permitted.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

6.7 Notices Published – 126 Duckworth Street - DEV2300069

SJMC-R-2023-07-24/328

Moved By Councillor Korab

Seconded By Councillor Ellsworth

That Council approve the Discretionary Use application for 126 Duckworth Street for a Lounge Use.

For (7): Mayor Breen, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

Against (1): Deputy Mayor O'Leary

MOTION CARRIED (7 to 1)

7. RATIFICATION OF EPOLLS

7.1 Supply and Deliver 10 New Tandem Axle Sanders

SJMC-R-2023-07-24/329

Moved By Councillor Hickman

Seconded By Councillor Froude

That Council approve for award this open call to the bidder with the highest points as determined by the City's evaluation team, Harvey & Company for the amount of \$3,916,337.65 (HST Included), as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

8. COMMITTEE REPORTS

9. DEVELOPMENT PERMITS LIST (FOR INFORMATION ONLY)

9.1 Development Permits List July 6 to July 19, 2023

10. BUILDING PERMITS LIST (FOR INFORMATION ONLY)

10.1 Building Permits List

11. REQUISITIONS, PAYROLLS AND ACCOUNTS

11.1 Weekly Payment Vouchers for Week Ending July 12, 2023

SJMC-R-2023-07-24/330

Moved By Councillor Ellsworth

Seconded By Deputy Mayor O'Leary

That Council approve the weekly payment vouchers for the week ending July 12, 2023 in the amount of \$5,482,966.68.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

11.2 Weekly Payment Vouchers for Week Ending July 19, 2023

SJMC-R-2023-07-24/331

Moved By Councillor Ellsworth

Seconded By Councillor Bruce

That Council approve the weekly payment vouchers for the week ending July 19, 2023 in the amount of \$11,127,576.48.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12. TENDERS/RFPS

12.1 2023140 Supply and Delivery of Cutting Edges and Curb Runners

SJMC-R-2023-07-24/332

Moved By Councillor Ellsworth

Seconded By Deputy Mayor O'Leary

That Council approve this open call, that was evaluated on a section-by-section basis, to the lowest bidder meeting specifications, S&S Supply LTD, Pricing Table 1 - \$22,601.40 per year (HST not included) and Pricing Table 2 - \$64,048.80 per year (HST not included) as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.2 2023139 - 2023 Retaining Wall Rehabilitation - Contract 1

SJMC-R-2023-07-24/333

Moved By Councillor Hickman

Seconded By Councillor Ridgeley

That Council approve for award this open call to the lowest bidder meeting specifications, Talon Energy Services Inc, for \$379,099.01(HST not incl.) as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.3 2023126 Supply and Delivery of Cummins Parts

SJMC-R-2023-07-24/334

Moved By Councillor Ellsworth

Seconded By Councillor Froude

That Council approve for award this open call to the lowest bidder meeting specifications, Harvey, and Company Ltd. for \$102,527.86 per year (HST not included), as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.4 Limited Call – Southside Road Sidewalk Infill and Speed Cushions

SJMC-R-2023-07-24/335

Moved By Councillor Hickman

Seconded By Councillor Ellsworth

THAT Council approve for award this limited call to the lowest bidder, Farrell's Excavating Limited, for \$256,875.50 (HST incl.).

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.5 2023144 - One (1) New not used Cargo Van and One (1) New not used 12 seat Passenger Van

SJMC-R-2023-07-24/336

Moved By Councillor Ridgeley

Seconded By Councillor Froude

That Council approve for award this open call to the sole bidder meeting specifications, Hickman Motors Limited, for \$146,630.40 (HST Incl.) as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.6 2023 034 Recreation Master Plan

The Deputy City Manager of Community Services provided Council with the background on the preparation of the new 10-year Recreation Masterplan. The new plan will help to guide the Recreation Division and Council where recreation is going in the City into the future. There will be engagement with members of the community, recreation facility users, and partners.

It was asked whether the City will be engaging with the independent Boards and groups that are running other recreation facilities that are not City-owned. Council was advised that those groups and organizations will be a part of this process and will be consulted.

SJMC-R-2023-07-24/337

Moved By Deputy Mayor O'Leary

Seconded By Councillor Hickman

THAT Council approve for award this open call to RC Strategies in the amount of \$148,991.70, for one year (HST included) as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

12.7 2023066 – Access Chamber Inspections (Digital Scanning)

SJMC-R-2023-07-24/338

Moved By Councillor Ridgeley

Seconded By Councillor Korab

That Council approve for award this open call to the lowest bidder meeting specifications, Clearwater Structures Inc., for \$240,350.00 (HST incl.) as per the Public Procurement Act.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

13. NOTICES OF MOTION, RESOLUTIONS QUESTIONS AND PETITIONS

13.1 Notice of Motion - Heritage Designation By-Law for 21-23 Queen's Road

Notice of Motion to designate 21-23 Queen's Road as a Heritage Building

Councillor Froude gave notice that, at the next regular meeting of the St. John's Municipal Council, he will move a motion to adopt a Heritage Designation By-Law for the following property so as to have the structure situate on this property designated as a Heritage Building:

- 21-23 Queen's Road (PID #11727)

14. OTHER BUSINESS

14.1 Planning St. John's Engage Page – Pilot Review

The question was asked whether the Planning St. John's project page will only provide information on plan amendments and re-zonings, or will it also be used for discretionary use applications. The Deputy City Manager of Planning, Engineering and Regulatory Services advised that it would continue, for now, to focus on pure planning applications, such as re-zonings, text amendments, municipal plan amendments. Staff will review and determine if the other types of planning files can be added, work on a plan on how they can be added and how it will work.

SJMC-R-2023-07-24/339

Moved By Councillor Froude

Seconded By Councillor Ridgeley

That Council continue the Planning St. John's project page and make it a permanent feature of EngageStJohns.ca

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

14.2 Civic Housing Action Fund for 28 Eric St

Staff were asked if a permit is required for the installation of a French drain and whether the permit has been released by the City. The Deputy City Manager of Planning, Engineering and Regulatory Services advised that there would be a permit required for the work and is unsure if that was encompassed in the overall building application but would confirm with Staff on the status.

It was noted that this funding would be subject to approval of the permit for the installation of the required French drain.

SJMC-R-2023-07-24/340

Moved By Councillor Ellsworth

Seconded By Councillor Bruce

That Council approve a contribution from the Civic Housing Action Fund of \$5,750 to Habitat for Humanity for installation of a French drain for an affordable housing development at 28 Eric Street.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

14.3 SERC – Summer Events

SJMC-R-2023-07-24/341

Moved By Councillor Bruce

Seconded By Deputy Mayor O'Leary

That Council approve the George Street Festival, Regatta Eve, Royal St. John's Regatta, St. John's Triathlon, and road closures and noise by-law extensions for the filming of Hudson and Rex.

For (8): Mayor Breen, Deputy Mayor O'Leary, Councillor Ellsworth, Councillor Hickman, Councillor Bruce, Councillor Korab, Councillor Froude, and Councillor Ridgeley

MOTION CARRIED (8 to 0)

15. ACTION ITEMS RAISED BY COUNCIL

Councillor Ridgeley asked Staff whether a plan is in place to review the substandard ball fields within the City and to have those requiring to be upgraded placed on a priority list each year. The Deputy City Manager of Community Services agreed to follow up on these fields as noted.

16. ADJOURNMENT

There being no further business, the meeting adjourned at 3:40 pm.

MAYOR

CITY CLERK

BY-LAW NO.

ST. JOHN'S HERITAGE DESIGNATION (21-23 QUEEN'S ROAD – PID #11727) BY-LAW

PASSED BY COUNCIL ON _____, 2023

Pursuant to the powers vested in it under section 355 of the City of St. John's Act, RSNL 1990 c. C-17, as amended and all other powers enabling it, the City of St. John's enacts the following By-Law relating to the heritage designation of the George Street United Church

BY-LAW

1. This by-law may be cited as the St. John's Heritage Designation (21-23 Queen's Road – PID #11727) By-Law.
2. The building situate on property at 21-23 Queen's Road – Parcel ID #11727, is designated as a Heritage Building.

IN WITNESS WHEREOF the Seal of the City of St. John's has been hereunto affixed and this By-Law has been signed by the Mayor and City Clerk this ____ day of _____, 2023.

MAYOR

CITY CLERK

DECISION/DIRECTION NOTE

Title: SERC – George Street Festival 2023

Date Prepared: August 3, 2023

Report To: Regular Meeting of Council

Councillor and Role: Councillor Debbie Hanlon, Special Events Regulatory Committee

Ward: Ward 2

Decision/Direction Required: Seeking Council approval of the extension of hours for alcohol sales associated with the 2023 George Street Festival on Monday, July 31st, Tuesday, August 1st and Wednesday, August 2nd.

Discussion – Background and Current Status: George Street Association are seeking approval of the extension of hours for alcohol sales, from 2am to 3am, associated with the 2023 George Street Festival on Monday, July 31st, Tuesday, August 1st and Wednesday, August 2nd.

Key Considerations/Implications:

1. Budget/Financial Implications: N/A
2. Partners or Other Stakeholders: George Street Association, NL Liquor Corporation
3. Alignment with Strategic Directions: N/A
4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: N/A
6. Legal or Policy Implications: Extension of alcohol sales from 2am to 3am.
7. Privacy Implications: N/A
8. Engagement and Communications Considerations: N/A
9. Human Resource Implications: N/A
10. Procurement Implications: N/A
11. Information Technology Implications: N/A

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12. Other Implications: N/A

Recommendation:

That Council approve the extension of hours for alcohol sales associated with the 2023 George Street Festival on Monday, July 31st, Tuesday, August 1st and Wednesday, August 2nd.

Prepared by: Christa Norman, Special Projects Coordinator

Approved by: Erin Skinner, Manager of Tourism, Culture, and Events.

Report Approval Details

Document Title:	SERC - George Street Festival 2023.docx
Attachments:	
Final Approval Date:	Aug 3, 2023

This report and all of its attachments were approved and signed as outlined below:

Erin Skinner - Aug 3, 2023 - 9:40 AM

Tanya Haywood - Aug 3, 2023 - 10:08 AM

ST. JOHN'S

Report of Committee of the Whole - City Council Council Chambers, 4th Floor, City Hall

July 26, 2023, 9:30 a.m.

Present:	Mayor Danny Breen Deputy Mayor Sheilagh O'Leary Councillor Sandy Hickman Councillor Jill Bruce Councillor Jamie Korab Councillor Ian Froude Lindsay Lyghtle Brushett
Regrets:	Councillor Maggie Burton Councillor Ron Ellsworth Councillor Debbie Hanlon Councillor Ophelia Ravencroft Councillor Carl Ridgeley
Staff:	Kevin Breen, City Manager Derek Coffey, Deputy City Manager of Finance & Administration Tanya Haywood, Deputy City Manager of Community Services Jason Sinyard, Deputy City Manager of Planning, Engineering & Regulatory Services Cheryl Mullett, City Solicitor Karen Chafe, City Clerk Susan Bonnell, Manager, Communications & Office Services Lindsay Lyghtle Brushett, Supervisor of Planning & Development Jackie O'Brien, Communications & Public Relations Officer Christine Carter, Legislative Assistant

1.0 Request to Sponsor Luncheon for Canadian Public Works Association

Recommendation

Moved By Councillor Hickman

Seconded By Councillor Froude

That Council sponsor the luncheon for the Newfoundland & Labrador Chapter of the Canadian Public Works Association to be held on October 5, 2023 with the

maximum amount of \$1800, given the precedent of Council's past support as well as the benefits of professional support provided by the CPWA to the City's Public Works staff.

For (6): Mayor Breen, Deputy Mayor O'Leary, Councillor Hickman, Councillor Bruce, Councillor Korab, and Councillor Froude

MOTION CARRIED (6 to 0)

2.0 369 Blackmarsh Road, REZ2300001

Councillor Froude presented the Decision Note for Council which requests consideration for rezoning of 369 Blackmarsh Road from Residential 2 (R2) Zone to the Residential 3 (R3) Zone to allow for a semi-detached dwelling development.

Staff are recommending that if this application is approved, that it be advertised to the area residents and referred to a public meeting, chaired by an independent facilitator.

Members of Council discussed the application, and whether a public meeting on the application is required and possible delays that the meeting could cause.

The majority of Council agreed with the Staff recommendation to advertise the application and to hold a public meeting, and that this should not result in a significant delay.

Recommendation

Moved By Councillor Froude

Seconded By Deputy Mayor O'Leary

That Council consider rezoning 369 Blackmarsh Road from the Residential 2 (R2) Zone to the Residential 3 (R3) Zone to allow semi-detached dwelling development, and that the application be advertised and referred to a public meeting chaired by an independent facilitator.

For (5): Mayor Breen, Deputy Mayor O'Leary, Councillor Hickman, Councillor Bruce, and Councillor Korab

Against (1): Councillor Froude

MOTION CARRIED (5 to 1)

3.0 Text Amendment – Daycare Centre

Members of Council considered a text amendment to the Envision St. John's Development Regulations that will bring the City's municipal regulations for daycare centres more in line with provincial regulations.

Clarification on the amendments proposed was sought by members of Council particularly regarding the definition of home occupation and day care centres, and the delineation of spaces as noted in the amendment.

Staff provided an explanation on the differences between home occupation use and commercial day care centres and the requirements and definitions.

Recommendation

Moved By Councillor Froude

Seconded By Councillor Bruce

That Council consider a text amendment to the Envision St. John's Development Regulations to bring Daycare Centre regulations more in line with provincial regulations.

For (6): Mayor Breen, Deputy Mayor O'Leary, Councillor Hickman, Councillor Bruce, Councillor Korab, and Councillor Froude

MOTION CARRIED (6 to 0)

Mayor

DECISION/DIRECTION NOTE

Title:	Request to Sponsor Luncheon for Canadian Public Works Association
Date Prepared:	July 18, 2023
Report To:	Committee of the Whole
Councillor and Role:	Councillor Sandy Hickman, Public Works
Ward:	N/A

Decision/Direction Required:

Council approval is requested to sponsor the Canadian Public Works Association Luncheon.

Discussion – Background and Current Status:

The Newfoundland and Labrador Chapter of the Canadian Public Works Association will be holding its annual Canadian Public Works Association Conference and Trade Show from October 4-6, 2023 at the Capital Hotel in St. John's. Overall, fifty delegates typically attend – 40 from within the Province and ten from other Canadian provinces.

The CPWA consists of supervisors and managers in the public works field from different municipalities around the Province and across Canada. The hosting town or city is typically expected to sponsor a lunch. This year, the lunch will be held at the Capital Hotel in St. John's and is expected to be in the range of \$1500 - \$1800. This event was not eligible to receive funding through the Meeting, Convention or Sporting Event Grant because it does not meet the 75 percent threshold of attendance for delegates outside the Province; however, the luncheon was approved by Council in 2015 and 2018.

It is worth noting that the Canadian Public Works Association provides beneficial professional support to those who operate and maintain public works and infrastructure through advocacy, education and member engagement.

Key Considerations/Implications:

1. Budget/Financial Implications: cost for luncheon
2. Partners or Other Stakeholders: Canadian Public Works Association
3. Alignment with Strategic Directions: N/A
4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: N/A

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6. Legal or Policy Implications: Request does not meet criteria for funding.

7. Privacy Implications: N/A

8. Engagement and Communications Considerations: N/A

9. Human Resource Implications: N/A

10. Procurement Implications: N/A

11. Information Technology Implications: N/A

12. Other Implications: N/A

Recommendation:

That Council sponsor the luncheon for the Newfoundland & Labrador Chapter of the Canadian Public Works Association to be held on October 5, 2023 with the maximum amount of \$1800, given the precedent of Council's past support as well as the benefits of professional support provided by the CPWA to the City's Public Works staff.

Prepared by:

Approved by:

Report Approval Details

Document Title:	Request to Sponsor Luncheon for the Canadian Public Works Association .docx
Attachments:	
Final Approval Date:	Jul 19, 2023

This report and all of its attachments were approved and signed as outlined below:

David Crowe - Jul 18, 2023 - 3:49 PM

No Signature - Task assigned to Lynnann Winsor was completed by workflow administrator Christine Carter

Lynnann Winsor - Jul 19, 2023 - 9:30 AM

DECISION/DIRECTION NOTE

Title: 369 Blackmarsh Road, REZ2300001

Date Prepared: July 17, 2023

Report To: Committee of the Whole

Councillor and Role: Councillor Ian Froude, Planning

Ward: Ward 3

Decision/Direction Required:

To consider rezoning 369 Blackmarsh Road from the Residential 2 (R2) Zone to the Residential 3 (R3) Zone to allow two semi-detached dwellings.

Discussion – Background and Current Status:

The City has received an application from 91619 NL Corp. to rezone land at 369 Blackmarsh Road from the Residential 2 (R2) Zone to the Residential 3 (R3) Zone to accommodate two (2) semi-detached dwellings. The subject property is within the Residential District of the Envision St. John's Municipal Plan and is zoned R2. The R2 Zone permits semi-detached dwellings, however the rezoning is being requested to accommodate lots with a smaller frontage. There is not enough frontage for 2 lots in the R2 Zone. A Municipal Plan amendment is not needed.

The site plan and conceptual elevation is attached. There are no concerns from Development or Engineering staff at this stage. Should the rezoning proceed, the driveway location and Newfoundland Power easement will need to be confirmed prior to bringing the amendment forward for adoption. Note that the current lot is longer (deeper) than the proposed new lots. Only the portion shown on the attached site plan is proposed to be rezoned to R3. The rear of the current lot will remain in the R2 Zone and be part of a separate ongoing application for subdivision and development.

Section 4.1 of the Envision Municipal Plan enables a range of housing to create diverse neighbourhoods with a mix of housing forms. Section 4.3 requires infill development to complement the existing character of an area. The adjacent properties and surrounding neighbourhood are a mix of single detached dwellings, semi-detached dwellings, townhouses, four-plexes and apartment buildings. While the proposed development is slightly narrower than the frontage required in the R2 Zone, the proposed frontages are similar to existing non-conforming townhouses across from the property, on the north side of Blackmarsh Road.

As per Section 4.9(2)(a) of the Envision St. John's Development Regulations, a Land Use Report (LUR) is required for rezonings. However, as per Section 4.9(3), where the scale or circumstances of the proposed development do not merit a full Land Use Report, Council may accept a staff report in lieu of one. Given that this development is proposing semi-detached

ST. JOHN'S

dwellings which are permitted in the existing R2 Zone, staff recommend accepting a staff report. This would be completed following public consultation.

Public Consultation

If Council decides to consider this amendment, staff recommend a public meeting chaired by an independent facilitator. It would be scheduled for early September, avoiding the summer months.

The applicant has asked that the City only send a public notice for the proposed rezoning and not hold a public meeting. Under Section 4.8 of the Development Regulations, a public notice is the minimum requirement for amendment, however the City usually holds public meetings for rezonings. Previously, for a similar application on Shaw Street, the City used public notification, but after neighbourhood concerns were raised, Council held a public meeting. We have already received some phone calls from the neighbourhood, stating concerns about rezoning.

Key Considerations/Implications:

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Neighbouring residents and property owners.
3. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

A Sustainable City: Facilitate and create the conditions that drive the economy by being business and industry friendly; and being a location of choice for residents, businesses and visitors.
4. Alignment with Adopted Plans: St. John's Municipal Plan and Development Regulations.
5. Accessibility and Inclusion: Not applicable.
6. Legal or Policy Implications: An amendment (rezoning) to the St. John's Development Regulations is required.
7. Privacy Implications: Not applicable.
8. Engagement and Communications Considerations: Public consultation as per Section 4.8 of the Development Regulations is required.
9. Human Resource Implications: Not applicable.
10. Procurement Implications: Not applicable.

11. Information Technology Implications: Not applicable.

12. Other Implications: Not applicable.

Recommendation:

That Council consider rezoning 369 Blackmarsh Road from the Residential 2 (R2) Zone to the Residential 3 (R3) Zone to allow semi-detached dwelling development, and that the application be advertised and referred to a public meeting chaired by an independent facilitator.

Prepared by: Ann-Marie Cashin, MCIP, Planner III

Approved by: Ken O'Brien, MCIP, Chief Municipal Planner

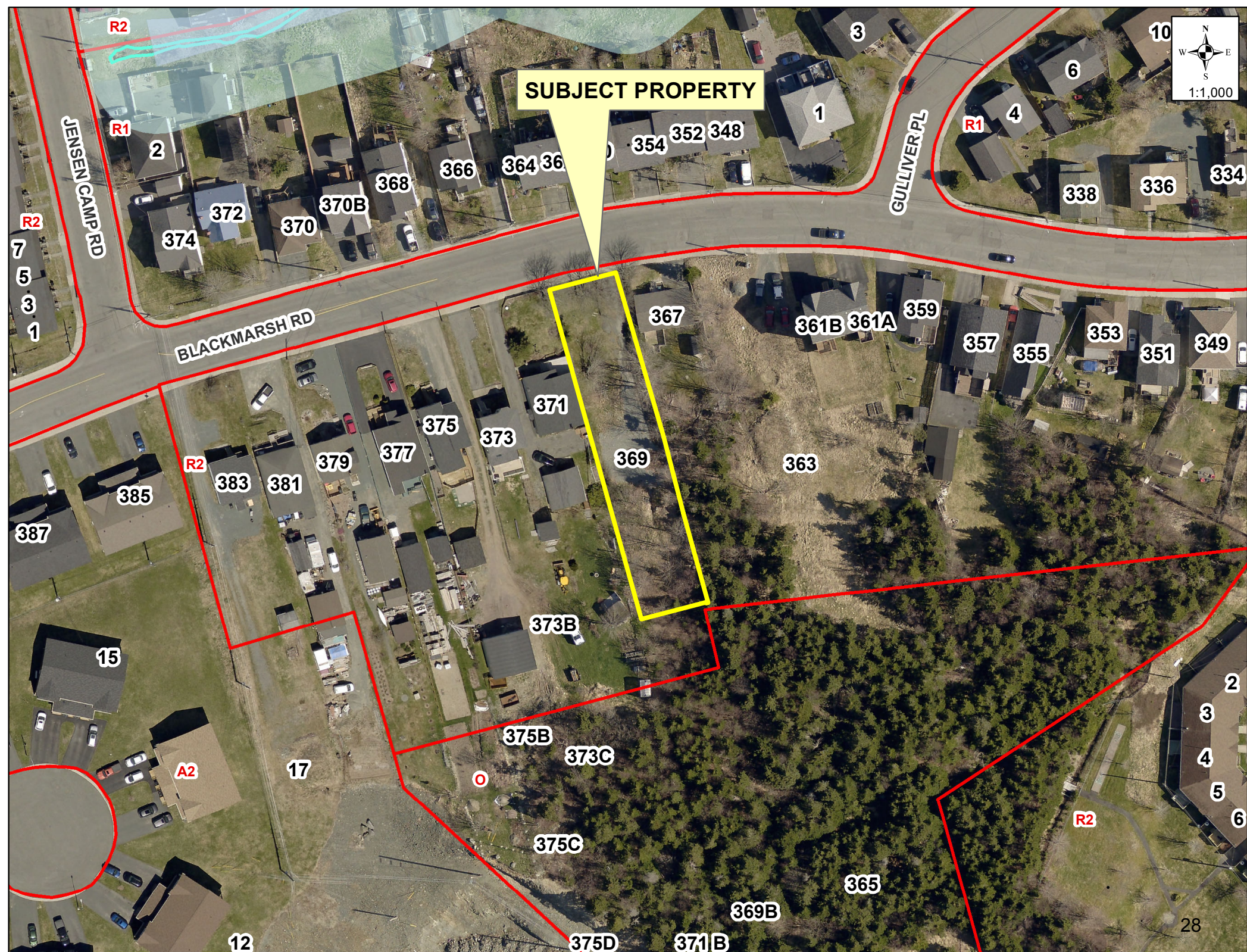
Report Approval Details

Document Title:	369 Blackmarsh Road, REZ2300001.docx
Attachments:	- 369 Blackmarsh Road - Attachments.pdf
Final Approval Date:	Jul 18, 2023

This report and all of its attachments were approved and signed as outlined below:

Ken O'Brien - Jul 18, 2023 - 11:09 AM

Jason Sinyard - Jul 18, 2023 - 12:00 PM



SUBJECT PROPERTY



RESIDENTIAL 2 (R2) ZONE

R2

(1) PERMITTED USES, except Shea Heights (Planning Area 14) and 591-609 Southside Road (PID #s 44135, 47622, 44136, 15246)

Accessory Building	Park
Bed and Breakfast	Semi-Detached Dwelling
Community Garden	Single Detached Dwelling
Duplex Dwelling	Subsidiary Dwelling Unit
Home Office	Townhouse
Lodging House	

(2) DISCRETIONARY USES, except Shea Heights (Planning Area 14) and 591-609 Southside Road (PID #s 44135, 47622, 44136, 15246)

Adult Day Centre	Heritage Use
Apartment Building, maximum of 6 dwelling units	Home Occupation
Bed and Breakfast	Parking Lot
Daycare Centre	Personal Care Home
Four-plex	Public Utility

(3) PERMITTED USES SHEA HEIGHTS (PLANNING AREA 14)

Townhouse is not permitted

(4) PERMITTED USES 591-609 SOUTHSIDE ROAD (PID #S 44135, 47622, 44136, 15246)

Accessory Building	Single Detached Dwelling
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(5) ZONE STANDARDS FOR SINGLE DETACHED DWELLINGS

(a)	Lot Area (minimum)	350 metres square
(b)	Lot Frontage (minimum)	12 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	6 metres

(6) ZONE STANDARDS FOR SEMI-DETACHED DWELLING

(a)	Lot Area (minimum)	270 metres square
(b)	Lot Frontage (minimum)	9 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	6 metres

(7) ZONE STANDARDS FOR DUPLEX DWELLING

(a)	Lot Area (minimum)	510 metres square
(b)	Lot Frontage (minimum)	17 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	6 metres

(8) ZONE STANDARDS FOR TOWNHOUSE

(a)	Lot Area (minimum)	180 metres square
(b)	Lot Frontage (minimum)	6 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	10 metres

- (e) Side Yards (minimum) 0 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres and except for the end unit where the Side Yard on the unattached side shall be 1.2 metres
- (f) Rear Yard (minimum) 6 metres

(9) ZONE STANDARDS FOR APARTMENT BUILDING

- (a) Lot Area (minimum) 90 metres square Lot Area per Dwelling Unit
- (b) Lot Frontage (minimum) 18 metres
- (c) Building Line (minimum) 6 metres
- (d) Building Height (maximum) 10 metres
- (e) Side Yards (minimum) Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
- (f) Rear Yard (minimum) 6 metres
- (g) Landscaping (minimum) 40%

(10) ZONE STANDARDS FOR FOUR-PLEX

- (a) Lot Area (minimum) 360 metres square
- (b) Lot Frontage (minimum) 20 metres
- (c) Building Line (minimum) 6 metres
- (d) Building Height (maximum) 8 metres
- (e) Side Yards (minimum) Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
- (f) Rear Yard (minimum) 6 metres
- (g) Landscaping (minimum) 40% of Lot, 30% of Front Yard

(11) ZONE STANDARDS FOR PERSONAL CARE HOME

(a)	Lot Area (minimum)	750 metres square
(b)	Lot Frontage (minimum)	18 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	10 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	6 metres
(g)	Landscaping (minimum)	30%

(12) ZONE STANDARDS FOR ALL OTHER USES SHALL BE IN THE DISCRETION OF COUNCIL.

RESIDENTIAL 3 (R3) ZONE

R3

(1) PERMITTED USES

Accessory Building	Park
Bed and Breakfast	Semi-Detached Dwelling
Community Garden	Single Detached Dwelling
Duplex Dwelling	Subsidiary Dwelling Unit
Four-Plex	Tiny Home Dwelling
Home Office	Townhouse
Lodging House	

(2) DISCRETIONARY USES

Adult Day Centre	Parking Lot
Apartment Building, maximum of 6 dwelling units	Personal Care Home
Daycare Centre	Public Utility
Heritage Use	Residential Retail Store
Home Occupation	Service Shop
Office	

(3) ZONE STANDARDS FOR SINGLE DETACHED DWELLING

(a)	Lot Area (minimum)	300 metres square
(b)	Lot Frontage (minimum)	10 metres
(c)	Building Line (minimum)	4.5 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	4.5 metres

(4) ZONE STANDARDS FOR DUPLEX DWELLING

- (a) Lot Area (minimum) 350 metres square
- (b) Lot Frontage (minimum) 14 metres
- (c) Building Line (minimum) 4.5 metres
- (d) Building Height (maximum) 8 metres
- (e) Side Yards (minimum) Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
- (f) Rear Yard (minimum) 4.5 metres

(5) ZONE STANDARDS FOR SEMI-DETACHED DWELLING

- (a) Lot Area (minimum) 188 metres square
- (b) Lot Frontage (minimum) 7.5 metres
- (c) Building Line (minimum) 4.5 metres
- (d) Building Height (maximum) 8 metres
- (e) Side Yards (minimum) One of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
- (f) Rear Yard (minimum) 4.5 metres

(6) ZONE STANDARDS FOR TOWNHOUSE

- (a) Lot Area (minimum) 90 metres square
- (b) Lot Frontage (minimum) 5.5 metres
- (c) Building Line (minimum) 0 metres when located within the Downtown Snow Removal Area (Map 8); 4.5 metres all other locations
- (d) Building Height (maximum) 10 metres

(e)	Side Yards (minimum)	0 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres and except for end unit where the Side Yard on the unattached side shall be 1.2 metres
(f)	Rear Yard (minimum)	4.5 metres

(7) ZONE STANDARDS FOR APARTMENT BUILDING

(a)	Lot Area (minimum)	90 metres square per Dwelling Unit
(b)	Lot Frontage (minimum)	14 metres
(c)	Building Line (minimum)	1.5 metres
(d)	Building Height (maximum)	10 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	4.5 metres

(8) ZONE STANDARDS FOR TINY HOME DWELLING

(a)	Lot Area (minimum)	91 metres square
(b)	Lot Frontage (minimum)	5.5 metres
(c)	Building Line (minimum)	0 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres
(f)	Rear Yard (minimum)	4.5 metres

(9) ZONE STANDARDS FOR FOUR-PLEX

(a)	Lot Area (minimum)	320 metres square
(b)	Lot Frontage (minimum)	20 metres
(c)	Building Line (minimum)	6 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	6 metres
(g)	Landscaping (minimum)	40% of Lot, 30% of Front Yard

(10) ZONE STANDARDS FOR PERSONAL CARE HOME

(a)	Lot Area (minimum)	650 metres square
(b)	Lot Frontage (minimum)	14 metres
(c)	Building Line (minimum)	1.5 metres
(d)	Building Height (maximum)	10 metres
(e)	Side Yards (minimum)	Two of 1.2 metres, except on a Corner Lot where the Side Yard abutting the Street shall be 6 metres
(f)	Rear Yard (minimum)	4.5 metres
(g)	Landscaping (minimum)	30%

(11) ZONE STANDARDS FOR ALL OTHER USES SHALL BE IN THE DISCRETION OF COUNCIL.





DECISION/DIRECTION NOTE

Title: Text Amendment – Daycare Centre

Date Prepared: July 18, 2023

Report To: Committee of the Whole

Councillor and Role: Councillor Ian Froude, Planning

Ward: N/A

Decision/Direction Required:

To consider a text amendment to the Envision St. John's Development Regulations that will bring our municipal regulations for daycare centres more in line with provincial regulations.

Discussion – Background and Current Status:

Under the Envision St. John's Development Regulations, a daycare within a home is considered a home occupation. A home occupation is defined as a secondary use of a dwelling unit and/or accessory building by at least one of the residents of that dwelling unit to conduct a gainful occupation or business activity, and Section 6.18 sets out the conditions required. A home occupation cannot be bigger than 45 square metres or 25% of the gross floor area of the dwelling unit whichever is less.

In some situations, our size limit may not allow enough space as required by the Province for a home daycare. Therefore, the following text changes are proposed to bring the City's regulations more in line with the provincial ones. Where possible, references to maximum areas within the home have been removed and the terms have been changed to match the Province's terms.

Current Definition

DAYCARE CENTRE means a Building or part of a Building in which licensed child care services are provided to more than 5 non-resident children at any one time.

Proposed New Definition

CHILD CARE CENTRE means a Building or part of a Building in which child care services are provided, as approved by the Province.

Current

6.12 DAYCARE CENTRES

6.12.1 Daycare Centre in Residential Use

A Daycare Centre in a Residential Use shall:

- (a) not exceed the lesser of 60 metres square or 40% of the Floor Area of the Dwelling Unit in which it is situate;
- (b) be clearly delineated and separated from any other occupancies in the Building; and

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(c) comply with all applicable Provincial and Municipal legislation.

Proposed New

6.12 CHILD CARE CENTRES

6.12.1 Child Care Centre in Residential Use

A Child Care Centre in a Residential Use shall:

- (a) be clearly delineated and separated from any other occupancies in the Building; and
- (b) comply with all applicable Provincial and Municipal legislation.

Current

6.12.2 Daycare Centre in Non-Residential Use

A Daycare Centre in a non-Residential Use shall:

- (a) be clearly delineated and separated from any other occupancies in the Building;
- (b) comply with all applicable Provincial and Municipal legislation; and
- (c) where located in a Residential Zone, maintain the following minimum standards:

Standard	Residential Zones					
	R1	R2	R3	RD	RM	RQ
Lot Area (minimum)	600 metres square	450 metres square	450 metres square	450 metres square	450 metres square	450 metres square
Lot Frontage (minimum)	18 metres	15 metres	15 metres	15 metres	15 metres	15 metres
Landscaping Front yard (minimum)	50%	50%	50%	N/A	50%	N/A

Proposed New

6.12.2 Child Care Centre in Non-Residential Use

A Child Care Centre in a non-Residential Use shall:

- (a) be clearly delineated and separated from any other occupancies in the Building;
- (b) comply with all applicable Provincial and Municipal legislation; and
- (c) where located in a Residential Zone, maintain the following minimum standards:

Standard	Residential Zones					
	R1	R2	R3	RD	RM	RQ
Lot Area (minimum)	600 metres square	450 metres square	450 metres square	450 metres square	450 metres square	450 metres square
Lot Frontage (minimum)	18 metres	15 metres	15 metres	15 metres	15 metres	15 metres
Landscaping Front yard (minimum)	50%	50%	50%	N/A	50%	N/A

Current

6.18 HOME OCCUPATION

6.18.1 Home Occupation in a Dwelling Unit

A Home Occupation in a Dwelling Unit shall:

- (a) not exceed the lesser of 45 metres square or 25% of the Gross Floor Area of the Dwelling Unit;
- (b) have no open storage or display of goods, materials, or equipment;
- (c) have no wholesale sales. Retail sales may be permitted provided they are incidental to the Home Occupation;
- (d) be operated by a resident of the Dwelling Unit and not employ more than 2 non-residents;
- (e) have activities associated with the Home Occupation which are not hazardous and which do not cause a significant increase in traffic, noise, odour, dust, fumes, lighting or other nuisance or inconvenience to residents of nearby properties;
- (f) have sufficient parking to accommodate the Home Occupation and the Dwelling Unit; and
- (g) have no change in type, nature or intensity without the approval of Council.

Proposed New

6.18 HOME OCCUPATION

6.18.1 Home Occupation in a Dwelling Unit

(1) A Home Occupation in a Dwelling Unit shall:

- (a) not exceed the lesser of 45 metres square or 25% of the Gross Floor Area of the Dwelling Unit;
- (b) have no open storage or display of goods, materials, or equipment;
- (c) have no wholesale sales. Retail sales may be permitted provided they are incidental to the Home Occupation;
- (d) be operated by a resident of the Dwelling Unit and not employ more than 2 non-residents **on-site at one time**;
- (e) have activities associated with the Home Occupation which are not hazardous and which do not cause a significant increase in traffic, noise, odour, dust, fumes, lighting or other nuisance or inconvenience to residents of nearby properties;
- (f) have sufficient parking to accommodate the Home Occupation and the Dwelling Unit; and
- (g) have no change in type, nature or intensity without the approval of Council.

(2) Notwithstanding Subsection (1), a family child care home, as outlined by the Province:

- (a) is exempt from the above maximum Gross Floor Area requirement;**
- (b) shall comply with all applicable Provincial and Municipal legislation; and**
- (c) the operator of the child care shall maintain their primary residence at the property.**

Public Consultation

An earlier version of this proposed amendment was reviewed with applicable provincial staff and their comments have been incorporated here. It is recommended that Council consider the text amendment and advertise it for public review and comment. Further, it is recommended that staff forward the proposed wording to the Association of Early Childhood Educators NL for their review, as well as applicable provincial staff. Any comments or requested changes will be considered, and incorporated where suitable, before bringing the amendment to Council to consider its adoption.

Key Considerations/Implications:

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: General public, especially parents of young children; provincial departments; the Association of Early Childhood Educators NL.
3. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

A Sustainable City: Facilitate and create the conditions that drive the economy by being business and industry friendly; and being a location of choice for residents, businesses and visitors.
4. Alignment with Adopted Plans: Envision St. John's Municipal Plan and Development Regulations.
5. Accessibility and Inclusion: Not applicable.
6. Legal or Policy Implications: A text amendment to the Envision St. John's Development Regulations is required.
7. Privacy Implications: Not applicable.
8. Engagement and Communications Considerations: Public consultation as per Section 4.8 of the Development Regulations is required. Further, a project page will be created on the Engage St. John's website.
9. Human Resource Implications: Not applicable.
10. Procurement Implications: Not applicable.
11. Information Technology Implications: Not applicable.
12. Other Implications: Not applicable.

Recommendation:

That Council consider a text amendment to the Envision St. John's Development Regulations to bring Daycare Centre regulations more in line with provincial regulations.

Prepared by: Ann-Marie Cashin, MCIP, Planner III

Approved by: Ken O'Brien, MCIP, Chief Municipal Planner

Report Approval Details

Document Title:	Text Amendment - Daycare Centre.docx
Attachments:	
Final Approval Date:	Jul 19, 2023

This report and all of its attachments were approved and signed as outlined below:

Ken O'Brien - Jul 18, 2023 - 2:19 PM

Jason Sinyard - Jul 19, 2023 - 10:36 AM

Development Permits List For July 20 to August 2, 2023

Code	Applicant	Application	Location	Ward	Development Officer's Decision	Date
COM	Atlantic Grocery Distributors	Site Work and Parking Lot Upgrades	24-26 Austin Street	4	Approved	23-07-25
RES		Subdivision & Consolidation of Land Only	1 & 3 Glenridge Crescent	4	Approved	23-07-26
RES		Consolidation of Land Only	15 Exeter Avenue	4	Approved	23-07-26
RES		Subdivide for 3 Townhouse Lots	13A, 13B & 13C O'Neil Avenue	2	Approved	23-07-28
COM	Choices For Youth	Redevelopment of Existing Property	340 LeMarchant Road	2	Approved	23-07-31
RES		Development of Single Detached Dwelling on Vacant Lot	390 Thorburn Road	4	Approved	23-08-01

*** Code Classification:**

RES - Residential	INST - Institutional
COM - Commercial	IND - Industrial
AG - Agriculture	
OT - Other	

**** This list is issued for information purposes only. Applicants have been advised in writing of the Development Officer's decision and of their right to appeal any decision to the St. John's Local Board of Appeal.**

Lindsay Lyghtle Brushett
Supervisor – Planning & Development

Permits List
Council's August 7, 2023 Regular Meeting

Permits Issued: 2023/07/20 to 2023/08/02

BUILDING PERMITS ISSUED

Residential

Location	Permit Type	Structure Type
1 Electra Dr	New Construction	Single Detached w/ apt.
1 Saunders Pl	Renovations	Townhousing
10 Wedgeport Rd	Site Work	Landscaping
11 Dunkerry Cres	New Construction	Single Detached Dwelling
11 Harrington Dr	Site Work	Single Detached w/ apt.
11 Murphy's Ave	Deck	Patio Deck
12 Aldergrove Pl	Fence	Fence
12 Doyle St	Site Work	Driveway
12 Lomac Rd	Renovations	Single Detached Dwelling
12 Sir Wilfred Grenfell Pl	New Construction	Single Detached w/ apt.
123 Doyle St	Site Work	Swimming Pool/Hot Tub
145 Casey St	Renovations	Semi Detached Dwelling
147 Hamlyn Rd	Accessory Building	Accessory Building
15 Ricketts Rd	Renovations	Townhousing
154 Pleasant St	Renovations	Townhousing
154 Prowse Ave Exten	Fence	Fence
16 Carty Pl	Site Work	Driveway
16 Fourth Pond Rd	Fence	Fence
16 Larch Pl	Fence	Fence
16 O'mara Pl	Change of Occupancy/Renovations	Single Detached Dwelling
17 Jacaranda Pl	Site Work	Swimming Pool/Hot Tub
17 Ricketts Rd	Renovations	Townhousing
18 King's Rd	Deck	Patio Deck
18 Quebec St	Accessory Building	Accessory Building
181 Hamilton Ave Unit 205	New Construction	Condominium
19 Ricketts Rd	Renovations	Townhousing
2 Reddy St	Fence	Fence

20 Anderson Ave	New Construction	Semi Detached Dwelling
20 Grenfell Ave	Site Work	Single Detached w/ apt.
21 Ricketts Rd	Renovations	Townhousing
21 Torngat Cres	Deck	Patio Deck
23 Leonard J. Cowley St	New Construction	Single Detached Dwelling
23 Ricketts Rd	Renovations	Townhousing
24 Peppertree Pl	Fence	Fence
24 Spitfire Dr	New Construction	Single Detached Dwelling
244 Empire Ave	Site Work	Landscaping
25 Ricketts Rd	Renovations	Townhousing
25 Ross Rd	Site Work	Driveway
25 Tupper St	Accessory Building	Accessory Building
27 Ricketts Rd	Renovations	Townhousing
27 Spitfire Dr	Deck	Patio Deck
27 Spitfire Dr	Fence	Fence
27 Spitfire Dr	Accessory Building	Accessory Building
29 Ricketts Rd	Renovations	Townhousing
3 Darcy St	Renovations	Single Detached Dwelling
30 Spitfire Dr	New Construction	Single Detached w/ apt.
31 Lions Rd	Change of Occupancy/Renovations	Single Detached Dwelling
31 Ricketts Rd	Renovations	Townhousing
33 Ricketts Rd	Renovations	Townhousing
33 Thomas St	Renovations	Single Detached w/ apt.
330 Portugal Cove Pl	Accessory Building	Accessory Building
35 Ricketts Rd	Renovations	Townhousing
36 Empire Ave	Renovations	Single Detached Dwelling
37 Ricketts Rd	Renovations	Townhousing
38 Frampton Ave	New Construction	Single Detached Dwelling
38 Ryan's Pl	Accessory Building	Accessory Building
4 Ledingham Pl	Renovations	Single Detached Dwelling
40 Blackwood Pl	Fence	Fence
42 Cedar Hill Pl	New Construction	Semi Detached Dwelling
42 Regent St	Accessory Building	Accessory Building
44 Cedar Hill Pl	New Construction	Semi Detached Dwelling
67 Cochrane St	Renovations	Semi Detached Dwelling
70 Pepperwood Dr	Accessory Building	Accessory Building

70 Pepperwood Dr	Fence	Fence	
71 Maurice Putt Cres	Renovations	Single Detached Dwelling	
78 Palm Dr	Fence	Fence	
8 Southcott Pl	Renovations	Single Detached Dwelling	
8 St. Michael's Ave	Deck	Patio Deck	
82 Diamond Marsh Dr	Fence	Fence	
83 Harrington Dr	Fence	Fence	
84 Pepperwood Dr	Accessory Building	Accessory Building	
88 Perlin St	Deck	Patio Deck	
9 Sherwood Dr	Renovations	Single Detached Dwelling	
95 Old Bay Bulls Rd	Accessory Building	Accessory Building	
99 Portugal Cove Rd	Renovations	Single Detached w/ apt.	
			This Week: \$4,388,967.54

Commercial

Location	Permit Type	Structure Type	
117 Ropewalk Lane	Change of Occupancy	Retail Store	
156 Portugal Cove Rd	Site Work	Condominium	
190 Pennywell Rd	Sign	Home For The Aged	
24-26 Austin St	Change of Occupancy/Renovations	Warehouse	
271 Blackmarsh Rd	Change of Occupancy/Renovations	Service Shop	
275 East White Hills Rd	Renovations	Warehouse	
3 Waterford Bridge Rd	Change of Occupancy	Warehouse	
35 Major's Path	Sign	Clinic	
390 Duckworth St	Sign	Place Of Assembly	
430 Topsail Rd	Sign	Retail Store	
50 Pippy Pl	Renovations	Mixed Use	
6 Lambe's Lane	Accessory Building	Accessory Building	
644 Topsail Rd	Sign	Service Shop	
68 Kenmount Rd	Sign	Eating Establishment	
84 Airport Rd	Change of Occupancy	Mixed Use	
86 O'leary Ave	Sign	Retail Store	
			This Week: \$1,366,230.00

Government/Institutional

Location	Permit Type	Structure Type
8 Military Rd	Renovations	Church

99 Queen's Rd	Change of Occupancy/Renovations	Church	This Week:	\$168,718.70
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Industrial

Location	Permit Type	Structure Type	This Week:	\$0.00
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Demolition

Location	Permit Type	Structure Type	This Week:	\$8,000.00
157 Waterford Bridge Rd	Demolition	Accessory Building		
4 Stoneyhouse St	Demolition	Single Detached Dwelling		
		This Week's Total:		\$5,931,916.24

REPAIR PERMITS ISSUED: **\$48,100.00**

NO REJECTIONS

YEAR TO DATE COMPARISONS			
August 7, 2023			
TYPE	2022	2023	% Variance (+/-)
Residential	\$46,750,657.34	\$47,203,146.17	1
Commercial	\$69,337,795.58	\$53,790,142.92	-22
Government/Institutional	\$1,090,288.00	\$5,329,059.99	389
Industrial	\$351,000.00	\$190,000.00	-46
Repairs	\$945,669.44	\$863,447.38	-9
TOTAL	\$118,475,410.36	\$107,375,796.46	-9
Housing Units (1 & 2 Family Dwelling)	149	102	

Respectfully Submitted,

Jason Sinyard, P.Eng., MBA
Deputy City Manager
Planning, Engineering and Regulatory Services

MEMORANDUM

Weekly Payment Vouchers For The Week Ending July 26, 2023

Payroll

Public Works	\$ 486,343.56
Bi-Weekly Casual	\$ 138,564.88
Accounts Payable	\$ 4,616,943.91

(A detailed breakdown available [here](#))

Total: \$ 5,241,852.35

ST. JOHN'S

DEPARTMENT OF FINANCE

CITY OF ST. JOHN'S PO BOX 908 ST. JOHN'S NL CANADA A1C 5M2 WWW.STJOHNS.CA

MEMORANDUM

Weekly Payment Vouchers For The Week Ending August 2, 2023

Payroll

Public Works	\$ 462,927.60
Bi-Weekly Administration	\$ 937,252.99
Bi-Weekly Management	\$ 948,738.02
Bi-Weekly Fire Department	\$ 978,537.72
Accounts Payable	\$ 9,685,415.95

(A detailed breakdown [here](#))

Total: \$ 13,012,872.28

ST. JOHN'S

DEPARTMENT OF FINANCE

CITY OF ST. JOHN'S PO BOX 908 ST. JOHN'S NL CANADA A1C 5M2 WWW.STJOHNS.CA

BID APPROVAL NOTE

Bid # and Name: 2023146 Supply and Delivery of Everest Parts
Date Prepared: Friday, July 28, 2023
Report To: Regular Meeting
Councillor and Role: Councillor Ron Ellsworth, Finance & Administration
Ward: N/A

Department: Finance & Corporate Services
Division: Supply Chain
Quotes Obtained By: Leanne Bastow
Budget Code: 0000-15101
Source of Funding: Operating

Purpose:

The purpose of this open call is for the supply and delivery of Everest parts for the Fleet Division, to be used on an as required basis.

Results: ☐ As attached ☒ As noted below

Vendor Name	Bid Amount
WESTERN HYDRAULIC 2000 LTD	\$39,794.60

Expected Value: ☐ As above
☒ Value shown is an estimate only for a 1 year period. The City does not guarantee to buy specific quantities or dollar value.

Contract Duration: One (1) year, with two (2) possible one (1) year extensions.

Bid Exception: None

Recommendation:

That Council approve for award this open call to the sole bidder meeting specifications, WESTERN HYDRAULIC 2000 LTD, for \$39,794.60 per year (HST not included) as per the Public Procurement Act.

Attachments:

ST. JOHN'S

Report Approval Details

Document Title:	2023146 - Supply and Delivery of Everest Parts.docx
Attachments:	
Final Approval Date:	Jul 31, 2023

This report and all of its attachments were approved and signed as outlined below:

Rick Squires - Jul 31, 2023 - 9:16 AM

Derek Coffey - Jul 31, 2023 - 9:18 AM

DEPARTMENTAL APPROVAL REQUEST/RFP

Commodity/Bid #: 275 Southside Road Ditch Inlet & Storm Sewer RFP #2023131
Date Prepared: Friday, July 28, 2023
Report To: Regular Meeting
Councillor and Role: Councillor Sandy Hickman, Public Works
Ward: Ward 5

Department: PERS
Quotes Obtained By: Mark White
Budget Code: ENG-2023-145
Source of Funding: Multiyear Capital

Purpose:

To procure Engineering services for the installation of a new ditch inlet & storm sewer in the vicinity of 275 Southside Road.

Proposals Submitted By:

Vendor Name
Pinnacle Engineering ULC - \$224,250.00 (Including HST)

Expected Value: ☒ Value shown is an estimate only for a # year period. The City does not guarantee to buy specific quantities or dollar value.

Contract Duration: 18 months

Recommendation:

THAT Council award to Pinnacle Engineering ULC for the amount shown.

Attachments:

ST. JOHN'S

Report Approval Details

Document Title:	275 Southside Road Ditch Inlet and Storm Sewer RFP 2023131.docx
Attachments:	
Final Approval Date:	Jul 28, 2023

This report and all of its attachments were approved and signed as outlined below:

Scott Winsor - Jul 28, 2023 - 11:14 AM

Jason Sinyard - Jul 28, 2023 - 11:58 AM

DEPARTMENTAL APPROVAL REQUEST/RFP

Commodity/Bid #: 2023033 – Winter Parkas
Date Prepared: Friday, July 28, 2023
Report To: Regular Meeting
Councillor and Role: Councillor Sandy Hickman, Public Works
Ward: N/A

Department: Public Works
Quotes Obtained By: Sherry Kieley
Budget Code: 3011-55788
Source of Funding: Operating

Purpose:

This open call was issued to establish a standing offer agreement for Winter Parkas for 569 employees.

Proposals Submitted By:

Vendor Name
Canadian Linen – Section 1 = \$45,997.70 and Section 2 = \$4,599.77
The Uniform Experts North America
Vision Packaging Supplies Ltd
5 Star Services and Products Inc.
Vallen Canada Inc.
Source Atlantic Ltd.
Martin & Levesque inc.
North Atlantic Supplies
Ink Thread & Tech Corp
Professional Uniforms and Mats
CIMA LTCI Corp.

Expected Value: ☒ Value shown is an estimate only for a 1 year period. The City does not guarantee to buy specific quantities or dollar value.

Contract Duration: 1 year, plus the possibility of one 1 year extension.

Recommendation:

THAT Council approve for award to Canadian Linen based on the evaluation of the proposals by the City's evaluation team as per the Public Procurement Act.

Attachments:

ST. JOHN'S

Report Approval Details

Document Title:	2023033 - Winter Parkas.docx
Attachments:	
Final Approval Date:	Aug 1, 2023

This report and all of its attachments were approved and signed as outlined below:

Lynnann Winsor - Jul 28, 2023 - 3:15 PM

Lynnann Winsor - Aug 1, 2023 - 3:58 PM

DEPARTMENTAL APPROVAL REQUEST/RFP

Commodity/Bid #: Supply and Deliver 1 compact Wheel Loader
Date Prepared: Thursday, August 3, 2023
Report To: Regular Meeting
Councillor and Role: Councillor Sandy Hickman, Public Works
Ward: N/A

Department: Public Works
Quotes Obtained By: Blair McDonald
Budget Code: PWP-2023-138
Source of Funding: Capital

Purpose:
Regular Fleet replacement program.

Proposals Submitted By:

Vendor Name
Harvey & Company
Brandt Tractor Ltd

#

Recommendation:

THAT Council approves the award of this open call to the bidder with the highest points as determined by the City's evaluation team, Brandt Tractor for the amount of \$293,825.00 (Hst Included), as per the Public Procurement Act.

ST. JOHN'S

DECISION/DIRECTION NOTE

Title: Youth Engagement Working Group – Approval of New Members

Date Prepared: July 17, 2023

Report To: Special Meeting of Council

Councillor and Role: Councillor Jill Bruce
click on councillor/role from dropbox

Ward: N/A

Decision/Direction Required:

Seeking Council's approval of the recommended candidates for the current vacancies on the Youth Engagement Working Group.

Discussion – Background and Current Status:

The Youth Engagement Working Group is seeking to fill the current vacant positions for one individual representative and two organizational representatives.

A call for membership was publicly circulated and a total of seven completed applications were received for the vacant positions.

Two applications were received for organizational representatives.

Five applications were received for the individual representative vacancy. Two of the individuals who applied would age out of the group during their two year term if they were selected and another individual did not provide complete answers to the application questions. The recommended individual represents a visible minority while also being a newcomer to the province, a perspective not currently represented in the working group.

Key Considerations/Implications:

1. Budget/Financial Implications: N/A
2. Partners or Other Stakeholders: N/A
3. Alignment with Strategic Directions:

A Connected City: Increase and improve opportunities for residents to connect with each other and the City.

ST. JOHN'S

A Connected City: Develop and deliver programs, services and public spaces that build safe, healthy and vibrant communities.

4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: The Youth Engagement Working Group is always cognizant of accessibility and inclusion in all aspects of their deliberations.
6. Legal or Policy Implications: N/A
7. Privacy Implications: N/A
8. Engagement and Communications Considerations: All applicants will be advised of Council's decision to appoint new members.
9. Human Resource Implications: N/A
10. Procurement Implications: N/A
11. Information Technology Implications: N/A
12. Other Implications: N/A

Recommendation:

That Council approve the following individuals to serve on the Youth Engagement Working Group:

Valerie Pike – The Association for New Canadians – Youth Pathways Program Leader
Julia Halfyard – Memorial University – Manager, Student Experience Office
Tamana Haidari – Individual Representative

Prepared by:

Stacey Baird
Legislative Assistant
Office of the City Clerk

Approved by:

Karen Chafe
City Clerk

Report Approval Details

Document Title:	Youth Engagement Working Group - Approval of New Members.docx
Attachments:	- YEWG Applications for Consideration - June 2023.xlsx
Final Approval Date:	Jul 18, 2023

This report and all of its attachments were approved and signed as outlined below:

Karen Chafe - Jul 18, 2023 - 9:47 AM

DECISION/DIRECTION NOTE

Title: SERC – Event and Filming Road Closures

Date Prepared: July 26, 2023

Report To: Regular Meeting of Council

Councillor and Role: Councillor Debbie Hanlon, Special Events Regulatory Committee

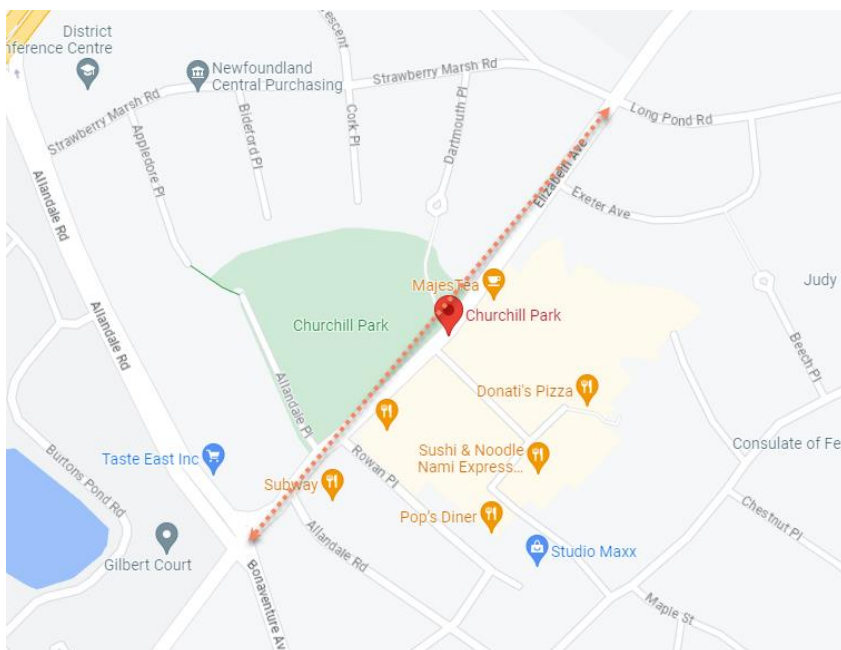
Ward: N/A

Decision/Direction Required: Seeking Council approval of road closures associated with the Churchill Park Music Festival, Fallowtree Street Block Party, Hudson and Rex, and the Drag on George Event.

Discussion – Background and Current Status:

Churchill Park Music Festival:

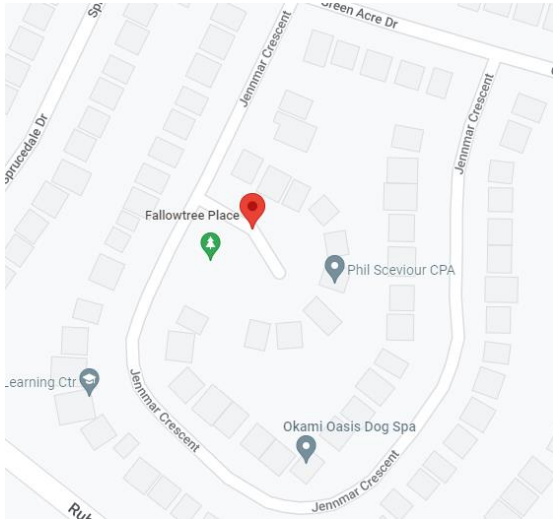
- August 11-12 and August 18-19
- Road closure request, Elizabeth Avenue from Long Pond Road to Allendale Road, from 10:40pm until the site clears (approximately 30 minutes).
- Road closure will be implemented by the RNC.



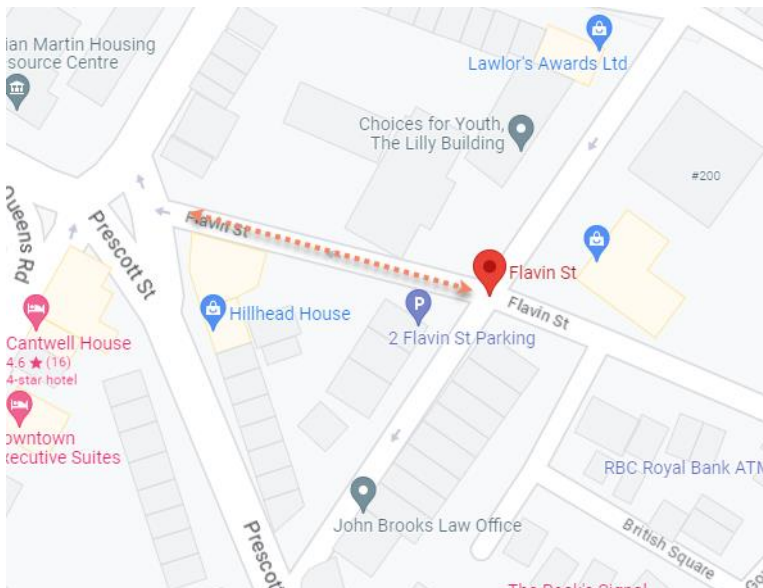
ST. JOHN'S

Fallowtree Street Block Party:

- The residents of Fallowtree Place and Jennmar Crescent are hosting a block party on Saturday August 26 (rain date of September 9) from 4pm – 10pm.
- They will be closing only the cul-de-sac portion of Fallowtree Place. Volunteers will be in place at all barricades, and local access will be permitted.

**Hudson and Rex:**

- Road closure requested on Flavin Street, from Bond Street to Prescott Street.
- Monday, August 21, from 7am – 7pm.
- Traffic control company has been hired to implement the closure.



Drag on George:

- Saturday August 26, 7:00pm – 11:00pm
 - Road closure request on George Street from Adelaide Street to Water Street.
 - Lip-synch competition on stage.
 - No alcohol or fencing.

Key Considerations/Implications:

1. Budget/Financial Implications: N/A
2. Partners or Other Stakeholders: George Street Association
3. Alignment with Strategic Directions: N/A
4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: N/A
6. Legal or Policy Implications: N/A
7. Privacy Implications: N/A
8. Engagement and Communications Considerations: N/A
9. Human Resource Implications: N/A
10. Procurement Implications: N/A
11. Information Technology Implications: N/A
12. Other Implications: N/A

Recommendation:

That Council approve the road closures associated with the Churchill Park Music Festival, Fallowtree Street Block Party, Hudson and Rex, and the Drag on George Event.

Prepared by: Christa Norman, Special Projects Coordinator

Approved by: Erin Skinner, Manager of Tourism, Culture, and Events

Report Approval Details

Document Title:	SERC - Event and Filming Road Closures.docx
Attachments:	
Final Approval Date:	Jul 27, 2023

This report and all of its attachments were approved and signed as outlined below:

Erin Skinner - Jul 27, 2023 - 9:09 AM

Tanya Haywood - Jul 27, 2023 - 9:25 AM

DECISION/DIRECTION NOTE

Title: 1274 Blackhead Road, Adoption, REZ2200004

Date Prepared: July 27, 2023

Report To: Regular Meeting of Council

Councillor and Role: Councillor Ian Froude, Planning

Ward: Ward 5

Decision/Direction Required:

To consider whether to proceed with a text amendment to the Envision St. John's Development Regulations to allow spa facilities with associated hospitality services in the Rural Residential (RR) Zone. This is prompted by an application at 1274 Blackhead Road.

Discussion – Background and Current Status:

The City has received an application from HW Architecture for a spa facility with associated hospitality services at 1274 Blackhead Road. The subject property is within the Rural District of the Envision St. John's Municipal Plan and is zoned Rural Residential (RR); a portion at the rear of the lot is zoned Rural (RUR). The policies of Section 10.7 of the Municipal Plan, for Planning Area 17 – Blackhead, apply.

The proposed development is a “Nordic spa”, a new type of development for St. John's that combines personal spa services with lodging in a rural setting. The development will include a main building, treatment domes, sauna structures, a yoga dome, a warming dome and sleeping domes, as indicated on the attached site plan.

From the attached Land Use Report (LUR), this year-round business would have up to 12 employees on-site at any one time. Hours of operation will be 10 a.m. to 7 p.m. with hopes to eventually expand to 8:30 a.m. to 9 p.m. Guests will receive a day pass and can use all services. They anticipate approximately 65 guests a day, with perhaps 12 guests staying overnight. There are 3 sleeping domes proposed, each holding up to 4 people.

Municipal Plan Analysis

The Rural Land Use District is for areas that have farms or large tracts of open spaces, along with some rural houses on large lots. From policy 8.10(1), within the Rural District, Council can establish zones to accommodate natural heritage and tourism and complementary uses. As the proposed spa has a tourism component and could become a tourist destination, it could be considered in the Rural District without an amendment to the Municipal Plan. The inclusion of sleeping domes makes this a tourist destination rather than only a spa.

ST. JOHN'S

Public Consultation

At its July 12, 2022, regular meeting, Council decided to consider the amendment and set the terms of reference for a Land Use Report (LUR). In preparing the report, the applicant visited the area and spoke with residents nearby. Once the report was prepared, the proposed rezoning and discretionary use was advertised in *The Telegram* three times, mailed to properties within 150 metres of the property and posted on the City's website. There is also a project page for this application on the City's Planning Engage page where the report was posted. A hybrid public meeting (in person and virtual) was held on June 8, 2023. Minutes from the meeting, and submissions received, are attached for Council's review.

A number of concerns were raised. All concerns are noted in the attached minutes from the public meeting and submissions, while some concerns require additional staff comment:

- **Commercialization of the area** – Staff affirm that the proposed use can be considered within the Rural District of the Municipal Plan under current policies, as the proposed use is a destination/tourism amenity, however area residents felt that it will commercialize their residential area. The Envision St. John's Development Regulations regulate land uses, and a spa with no overnight stay would be considered a service shop. As commercial uses in the Rural District are limited to tourism, a tourism component is required in order to consider it within a rural zone. While the Municipal Plan allows tourism uses in the Rural District, we recognize that this would be a change in land use in a primarily residential area. However, the proposed amendment will require a 10-metre buffer along the front of the property left in its natural form (it is currently treed) which will make the parking lot less visible, and the proposed use is a low-impact commercial use. From the conceptual site plan, the applicant may have to shift the parking lot about 1 metre, and there is enough space to do so.
- **Water Use** – Residents experience low water pressure and wells going dry, even artesian wells, and raised concerns that the water required for the spa would add to these problems. For unserviced developments (developments with private wells and septic systems), the servicing is reviewed by the Province. This usually occurs at the development application stage and therefore has not been carried out yet. However, given the concerns raised by the residents, should Council decide to proceed with the amendment, we recommend discussions with Service NL to confirm that enough drinking water is available in this area.
- **Risk of fire** – Residents were concerned that the proposed development would increase the risk of fire. The application was reviewed by the St. John's Regional Fire Department and no additional requirements were needed. The Fire Department has policies for areas with no municipal water supply such as Blackhead Road. Following the public meeting, staff followed up with the Fire Department and confirmed that an on-site water tank for firefighting would not be required for the proposed development.
- **Flood plain** – During the review, staff confirmed a water body on provincial maps. Should the development proceed, a flood plain analysis will be required. This may affect the site layout.

Area residents at the meeting strongly opposed the proposed development, raised concerns, and expressed their views forcefully. At times, the meeting got heated. There was also support expressed for the proposed use, but not by the immediate neighbours.

Proposed Amendment

Background information on the proposed amendment is included in the attached amendment package. Staff propose to add a new Rural Tourism use to the Definitions section of the Development Regulations, add Blackhead Road to the Scenic Road regulations to ensure a 10-metre buffer along the streetscape, and add Rural Tourism as a discretionary use in the Rural (RUR), Rural Residential (RR), and Rural Residential Infill (RRI) Zones. These are zones appropriate for this type of land use.

While the new Rural Tourism use was prompted by the application for a Nordic spa on Blackhead Road in the RR Zone, the definition is broad enough to include other nature-based tourism activities. Given the interest in this type of use, staff recommend adding Rural Tourism use to the RUR and RRI Zones. Should other applications come forward at other locations, each could be evaluated on its own merit at the discretion of Council.

Recommendation

The applicant has stated that a rural setting with natural scenery is a key component of a Nordic spa. Given the allowance for tourism uses in the Rural District, and some support for the proposed use, there is merit in allowing Rural Tourism uses in rural zones, as it creates economic opportunities.

However, given the number of pools and showers required, the availability of water is a significant unknown at this stage. As well, the location of any floodplain on the site will affect the location of the buildings. Therefore, staff recommend proceeding with the proposed text amendment, and recommend approving the discretionary use of Rural Tourism at 1274 Blackhead Road, subject to floodplain analysis and confirming that sufficient on-site water supply is available.

Key Considerations/Implications:

1. Budget/Financial Implications: Not applicable.
2. Partners or Other Stakeholders: Applicant; property owner; neighbouring residents and property owners; potential future users of the business.
3. Alignment with Strategic Directions:

A Sustainable City: Plan for land use and preserve and enhance the natural and built environment where we live.

A Sustainable City: Facilitate and create the conditions that drive the economy by being business and industry friendly; and being a location of choice for residents, businesses and visitors.

4. Alignment with Adopted Plans: Envision St. John's Municipal Plan and Development Regulations.
5. Accessibility and Inclusion: Not applicable.
6. Legal or Policy Implications: A text amendment to the Envision St. John's Development Regulations is required to consider the proposed development.
7. Privacy Implications: Not applicable.
8. Engagement and Communications Considerations: Engagement was carried out in accordance with Section 4.8 of the Development Regulations.
9. Human Resource Implications: Not applicable.
10. Procurement Implications: Not applicable.
11. Information Technology Implications: Not applicable.
12. Other Implications: Not applicable.

Recommendation:

That Council:

- 1) adopt the attached resolutions for Envision St. John's Development Regulations Amendment Number 23, 2023, to add a new Rural Tourism use definition, include Blackhead Road in the Scenic Road regulations; and add Rural Tourism as a discretionary use in the Rural (RUR) Zone, Rural Residential (RR) Zone and Rural Residential Infill (RRI) Zone;
- 2) approve the Land Use Report (LUR) for 1274 Blackhead Road dated March 2, 2023;
- 3) approve the discretionary use of Rural Tourism at 1274 Blackhead Road, subject to further floodplain mapping and confirming on-site water capacity.

Prepared by: Ken O'Brien, MCIP, Chief Municipal Planner

**Approved by: Jason Sinyard, P.Eng., MBA, Deputy City Manager – Planning,
Engineering and Regulatory Services**

Report Approval Details

Document Title:	1274 Blackhead Road, Adoption, REZ2200004.docx
Attachments:	- 1274 Blackhead Road - Attachments.pdf - Land Use Report - 2023 ICEAVIK SPA_LUR_1274 BLACKHEAD ROAD.pdf
Final Approval Date:	Aug 1, 2023

This report and all of its attachments were approved and signed as outlined below:

Jason Sinyard - Aug 1, 2023 - 4:45 PM



SUBJECT PROPERTY

BLACKHEAD RD

1302

1294

1274

1281

1273

1265

1259

1254

OR

RR

RR

R

R

RURAL RESIDENTIAL (RR) ZONE

RR

(1) PERMITTED USES

Accessory Building	Lodging House
Bed and Breakfast	Park
Community Garden	Single Detached Dwelling
Home Office	Subsidiary Dwelling Unit

(2) DISCRETIONARY USES

Agricultural Use	Kennel
Daycare Centre	Parking Lot
Forestry Use	Place of Worship
Heavy Equipment Storage	Public Utility
Home Occupation	Residential Retail Store
Indoor Riding Arena	Warehouse

(3) ZONE STANDARDS SINGLE DETACHED DWELLING

(a)	Lot Area (minimum)	4000 metres square
(b)	Lot Frontage (minimum)	45 metres
(c)	Building Line (minimum)	20 metres
(d)	Building Height (maximum)	8 metres
(e)	Side Yards (minimum)	Two of 6 metres
(f)	Rear Yard (minimum)	6 metres

(4) ZONE STANDARDS FOR ALL OTHER USES

(a)	Lot Area (minimum)	4000 metres square
(b)	Lot Frontage (minimum)	45 metres
(c)	Building Line (minimum)	20 metres
(d)	Building Height	Council discretion
(e)	Side Yards (minimum)	Two of 6 metres
(f)	Rear Yard (minimum)	6 metres

SHEET KEY NOTES:

1. MAIN BUILDING _ 11.5m X 14.1m
2. STEAM SAUNA _ 7.7m X 7.7m
3. DRY SAUNA _ 7.7m X 7.7m
4. HOT POOLS (4; VARIOUS TEMPS.) _ 3.7m X 6.1m
5. COLD PLUNGE (DEEP PLUNGE)_ 1.5m X 2.4m
6. COLD PLUNGE (WALK-THROUGH) _ 2.4m X 4.6m
7. COLD PLUNGE (WATERFALL) _ 2.4m X 4.6m
8. FACIAL HUT _ 7.7m X 7.7m
9. OVERNIGHT RENTAL DOMES (3) _ 6.1m DIAMETER
10. YOGA DOME _ 10.1m DIAMETER
11. BISTRO DOME _ 10.1m DIAMETER
12. RESTING HUT _ 9.8m X 9.8m
13. PARKING _ TOTAL 53 STALLS (MAIN LOT + AT MAIN BUILDING)
14. ACCESSIBLE PARKING (4)
15. SAUNA HUTS (3)
16. WATER BUCKET DROPS (3)
17. TREATMENT DOMES (3) _ 6.1m DIAMETER
18. TOPOGRAPHIC CONTOUR LINE (5m ELEVATION CHANGES)
19. ADJACENT WOODS PATH
20. POWER LINES (EASEMENTS UNCONFIRMED)
21. CURRENT ZONING BOUNDARY
22. APPROXIMATE LOCATION OF WASTEWATER TREATMENT
23. UNDERGROUND WASTEWATER LINE (SCHEMATIC)
24. NATURAL ROCK FEATURES
25. PROPERTY LINE

GENERAL NOTES:

- A. PROPERTY WILL BE SERVICED BY ON SITE WELL AND WASTEWATER TREATMENT.
- B. AREAS NOT DEVELOPED WITH BUILDINGS, POOLS, PARKING AND PATHS WILL BE LEFT AS NATURAL LANDSCAPE.
- C. LOT AREA: 3.42 ha
- D. ALL STRUCTURES TO BE ONE-STOREY IN HEIGHT. MAIN BUILDING TO HAVE WALK-OUT BASEMENT.



1 SITE KEY PLAN

SCALE : 1:750 (1:1500 when printed 11X17)

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1C 3N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
1	23/02/27	ISSUED FOR LUAR
0	22/10/17	ISSUED FOR LUAR

DRAWN BY:

PROJECT #: 3100-01

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

ICEAVIK SPA

1274 Blackhead Road
St. John's, NL

DRAWING TITLE

SITE KEY PLAN

DRAWING NUMBER

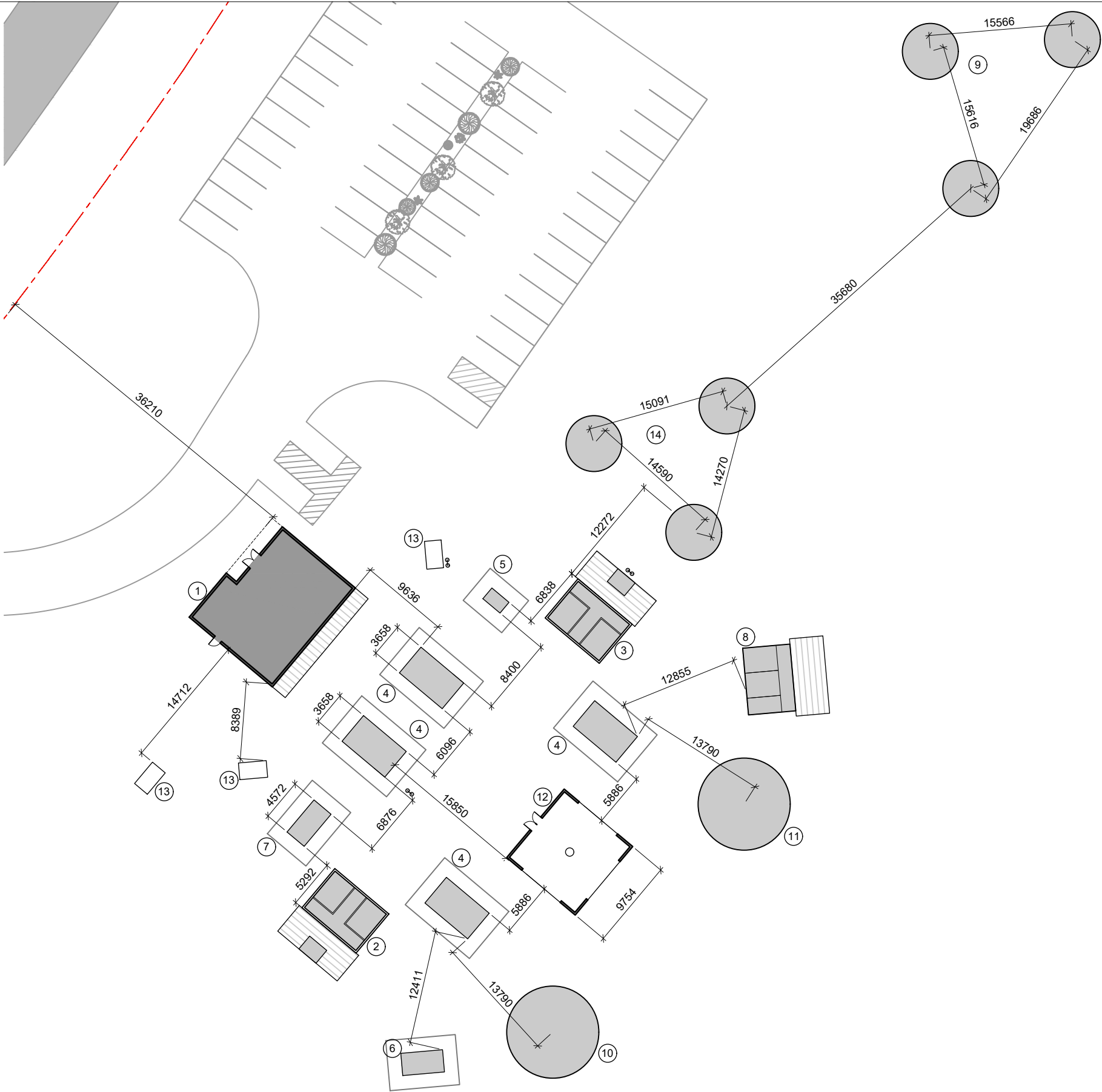
1.0

SHEET KEY NOTES:

1. MAIN BUILDING _ 11.5m X 14.1m
2. STEAM SAUNA _ 7.7m X 7.7m
3. DRY SAUNA _ 7.7m X 7.7m
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5. COLD PLUNGE (DEEP PLUNGE)_ 1.5m X 2.4m
6. COLD PLUNGE (WALK-THROUGH) _ 2.4m X 4.6m
7. COLD PLUNGE (WATERFALL) _ 2.4m X 4.6m
8. FACIAL HUT _ 7.7m X 7.7m
9. OVERNIGHT RENTAL DOMES (3) _ 6.1m DIAMETER
10. YOGA DOME _ 10.1m DIAMETER
11. BISTRO DOME _ 10.1m DIAMETER
12. RESTING HUT _ 9.8m X 9.8m
13. SAUNA HUTS (3)
14. TREATMENT DOMES (3) _ 6.1m DIAMETER

GENERAL NOTES:

- A. SEE BUILDING LOCATION PLAN 1.4 FOR ADDITIONAL INFORMATION.



BUILDING LOCATION PLAN - ENLARGED

SCALE : 1:250 (1:500 when printed 11X17)

ARCHITECTURAL CONSULTANT

HWARCHITECTURE

65 COLONIAL STREET,
ST. JOHN'S, NL
A1C 3N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
1	23/02/27	ISSUED FOR LUAR
0	22/10/17	ISSUED FOR LUAR

DRAWN BY:

PROJECT #: 3100-01

1. DO NOT SCALE FROM THIS DRAWING.
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5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

ICEAVIK SPA

1274 Blackhead Road
St. John's, NL

DRAWING TITLE

BUILDING LOCATION
PLAN - ENLARGED

DRAWING NUMBER

1.5

LAND USE REPORT (LUR)

ICEAVIK NORDIC SPA

1274 BLACKHEAD ROAD, ST. JOHN'S, NL

March 2, 2023



**ICEAVIK SPA
LAND USE REPORT (LUR) 2023**

TABLE OF CONTENTS

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APPENDICES

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INTRODUCTION

The Iceavik Nordic Spa is a new facility proposed for 1274 Blackhead Road in the City of St. John's, NL. Iceavik Nordic Spa is based on the Finnish tradition of sauna and will feature areas of hot, cold and rest creating a therapeutic circuit where one moves through various outdoor and indoor spaces and conditions. Several buildings and outdoor amenities make up the Iceavik facility. A main building serves as a reception, change/washroom and administrative hub. Various structures are placed outdoors for the therapeutic circuit and include sauna buildings and huts, treatment huts and domes, plus relaxation and refreshment huts and domes. Outdoor pools of various temperatures are also part of the circuit. In addition to the main spa component, bed and breakfast accommodations are to be offered in 3 overnight rental domes.

The property at 1274 Blackhead Road is to remain as natural as possible. The natural setting is to be part of the overall experience. Care is to be taken in the construction and operation of the Iceavik Nordic Spa to maintain the tranquil surroundings. The facility is planned to have minimal impact on the site and effects of activities fully contained within the property.

A. PUBLIC CONSULTATION

In-Person Canvassing

Rebecca Bezanson, the owner, reached out to community members via social media and visited adjacent property owners in-person on June 25, 2022. All concerns and questions were promptly responded to. Some questions were regarding whether there were campground overnight facilities. A campground is not in the scope of the project nor will it ever be. The overnight accommodation facilities are not camping facilities therefore there are no 'sites'. The accommodations are within permanent structures and will operate similar to bed and breakfast establishments. There were questions about the well water and concerns they would not have sufficient water for themselves. They had concerns about the quad path that is next door to the spa and if it would remain. It will remain as the spa does not own that land. Several community members asked about the zoning and if it's possible to build a different commercial business other than a spa in this location, we informed them that it would be the approved permit use, which is the spa or back to a residential use property, there is no ability to change to a campground or other commercial use. There were questions regarding the overnight domes and how many there would be. Again, Rebecca informed them it was a max of 4 people occupancy and only 3 domes being built and solely for the purpose of ensuring we offer a tourism destination.

Below is a list of neighbours visited and their general support position. For privacy, full names and exact addresses have not been listed in this LUR.

Address	Property Owners	Feedback
11XX Blackhead road	Property Owner #1	Strongly Support Spa location
11XX Blackhead Road	Property Owner #2, #3	Strongly Support Spa location
11XX Blackhead Road	Property Owner #4, #5	Strongly Support Spa location
12XX Blackhead Road	Property Owner #6	Strongly Support Spa location
12XX Blackhead Road	Property Owner #7, #8	Strongly Support Spa location
13XX Blackhead Road	Property Owner #9	Strongly Support Spa location
12XX Blackhead Road	Property Owner #10	Strongly Support Spa location
12XX Blackhead Road	Property Owner #11	Does not Support
13XX Blackhead Road	Property Owner #12	Undecided
12XX Blackhead Road	Property Owner #13	Undecided / No opinion verbalized

City of St. John's Engage Portal

The Engage Portal on the City of St. John's website has been reviewed for public comments, questions and concerns. This public commentary is outlined in the following chart along with comments, questions and concerns from the neighbours. Design responses from the proponent team are included in the chart. The public commentary has been divided and formatted into each individual question for the purpose of providing direct responses. All of the online Engage Portal comments can be found at:

https://www.engagestjohns.ca/1274-blackhead-road?tool=qanda#tool_tab

Commentary and Design Response Chart

Neighbour and public comments (questions and concerns) regarding the spa design and operations along with responses on how the design and proposed use addresses such commentary are outlined below and also repeated in Appendix A.

Questions/Comments from Public Regarding Spa Design or Operations	Response
From In-Person Canvassing:	
Will there be camping or campgrounds at the spa or on the property?	The overnight accommodation will not be camping and there will not be campground or similar facilities. The overnight accommodation facilities are not camping facilities therefore there are no 'sites'. The accommodations are within permanent structures and will operate similar to bed and breakfast establishments.
Regarding well water availability and will there be negative impacts on water supply for neighbouring properties.	Daily water use for the spa will be limited to sinks, showers, water closets and personal hydration. This can be sourced from an on-site well. The property is approximately 8.54 acres and will be sparsely developed by the spa thereby providing a low intensity of water use considering property size. Water flow tests are to be performed and the well infrastructure/ impact will have to meet provincial guidelines. Water for pools will be trucked to the spa from other sources.
Regarding the quad path that is next door to the spa and if it would remain.	It will remain as the spa does not own that land.
Several community members asked about the zoning and if it's possible to build a different commercial business other than a spa in this location.	The new zoning will only allow the spa use for this site other than currently allowed residential use.

Regarding the number of overnight guests at one time.	The overnight rental domes can accommodate up to 4 guests each. There are to be 3 overnight rental domes constructed. This means a total of 12 overnight guests maximum.
From City Online Engage Portal:	
Will individuals staying in the overnight (rental) domes be allowed to drive their vehicles into their site?	All vehicles for guests/users are to be parked in the paved parking lot. The overnight accommodation facilities are not camping facilities therefore there are no 'sites' to drive up to.
Will guests be allowed to bring alcohol to their (overnight rental dome)?	Our goal is to offer the ultimate relaxation and therefore if a guest chooses to relax with a glass of wine that will be their discretion. Similar to a hotel, we are not permitted to search guests' belongings. The spa is however for ultimate relaxation and therefore requires a tranquil and a peaceful environment, no loud noises will be tolerated both in the spa or the domes.
Will there be staff at the facility 24 hours?	For safety and to ensure proper protocol is adhered to, the spa will be monitored 24 hours a day.
What types of activities and amenities are (overnight) guests expected to avail of?	The overnight guests have access to the spa during business hours only. They will have a small kitchenette in their dome and a tv and outside they will have a couple wooden chairs.
Will they be sitting outside?	It is an outdoor spa so predominantly people will be outside in the hot pools, chairs, hammocks, walking etc. It is important to note that a tranquil and quiet facility is to be achieved by means of 'acceptable behaviour guidelines'.
Will there be music?	it is a 'whisper only' spa that uses nature to enhance your relaxation. There will be spa music playing quietly with the majority of the sound being from nature, water, wind etc.
Will there be fire places? Gas or wood?	There will be both gas and wood burning fireplaces in the facility and monitored/tended by staff.
What is the potential for expanding the (overnight rental) domes?	At this time there is no plan to expand past 3 overnight rental domes. Future expansion would require City approval processes.
How many more (overnight rental domes) do you have capacity to add?	That would depend on City regulations. At this time there is no plan to expand past 3 overnight rental domes.
Will there be alcohol served at this facility?	Yes, the plan is to apply for a liquor license. Alcohol is to be served only as a relaxation refreshment. Drunkenness will not be tolerated.
Will there be food served at this facility?	Yes, there will be.
Will there be retail outlets at this facility?	No.

What is the plan for traffic entering and exiting the facility?	Traffic will enter and exit via the private driving lane. When exiting, there will be a stop sign at the end of the lane where it meets Blackhead Road.
What type of night-time lighting will there be in the facility?	Night time lighting during business hours will consist of 'dark-sky' friendly, full cut-off and limited accent lighting. After business hours, light levels will be reduced and levels maintained for safety purposes only. Lighting will be designed to be contained within the property.
What is the capacity at any given time for customers in the entire facility?	The average user number at any given time is targeted to be approximately 60.
What type of signage is the proponent planning on erecting?	There will be a sign at the end of the driving lane directing traffic into the facility. Signage will be in keeping with City signage regulations.

B. BUILDING USE

Building Size and Use

The Iceavik Spa will consist of one main building plus additional smaller outbuildings and amenities located on the property. The main building will be a single storey structure featuring a walk-out basement. The outbuildings will be a combination of small, wood-framed structures and prefabricated domes. Other site amenities will include outdoor pools for hot and cold water treatments.

Building plans and additional information can be found in Appendix B of this document.

The building types with their uses are listed below:

Main Building **271 m² (total)**

Main Floor	144 m ² (total)
- Reception	32 m ²
- Universal Change Room/WC	16 m ²
- Offices (3)	44 m ² (total)
- Staff Area (incl. WC)	13 m ²
Basement	127 m ² (total)
- Change Rooms (2)	96 m ² (total)
- Utility/Storage	8 m ²

Steam Sauna **53 m² (total)**

- Sauna Rooms (2)	20 m ² (total)
- Shower/Scrub Area	14 m ²
- Utility/Storage	6 m ²

Dry Sauna **53 m² (total)**

- Sauna Rooms (2)	20 m ² (total)
- WCs (2)	11 m ² (total)
- Utility/Storage	6 m ²

Facial Hut **53 m² (total)**

- Treatment area	26 m ²
- Rest Area	25 m ²
- Utility/Storage	2m ²

Overnight Rental Domes (3) **87 m² (total)**

- Accommodation (3)	87 m ² (total) (29 m ² each)
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Treatment Domes (3) **87 m² (total)**

- Treatment area (3)	81 m ² (total) (27 m ² each)
----------------------	--

Yoga Dome **79 m² (total)**

- Training	72 m ²
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Bistro Dome **79 m² (total)**

- Service/Counter	16 m ²
- Seating	60 m ²

Resting Hut **87 m² (total)**

- Seating	83 m ²
-----------	-------------------

Sauna Huts (3) **12 m² (total)**

- Sauna Rooms (3)	12 m ² (total) (4 m ² each Hut)
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Area of Property 3.42 ha. (34200 m² total)

Gross Floor Area (all buildings) 861 m² (total)

Floor Area Ratio (F.A.R.) 0.025

Business Hours and Staffing

We anticipate 12 spa staff to be onsite at all times. The hours will be 10am-7pm and will grow to 8:30am-9pm should demand allow. Spa staff will arrive 30 minutes prior to opening and stay 30 minutes after the spa closes.

There will be two receptionists/greeters. They will check the guests in as well as ensure they know where to go etc.

There will be three treatment domes and therefore three staff which offer treatments all day long by appointment only. The treatments include but are not limited to botox, facials, medical facials, relaxation and therapeutic massages, manicure and pedicures, laser hair removal etc.

There will be three staff responsible for pool maintenance, equipment monitoring and sauna events.

There will also be a bistro that guests can choose to purchase food and beverages, there will be two staff assigned to this station at all times.

There will be one onsite maintenance staff at all times as well there will be a spa manager ensuring the day to day activities are running smoothly.

C. ELEVATION & BUILDING MATERIAL

* Building elevations can be found in Appendix C of this document.

The buildings proposed for the Iceavik Spa vary in size and construction type. The buildings can be grouped into 3 primary construction types regardless of size. Although differences may exist between constructions types, there is to be consistency in the general look and feel for each building within each type. Such consistency is to provide a coherent development while allowing for thoughtful variation.

The primary construction types are: (A) Wood Frame, (B) Prefabricated Dome, (C) Prefabricated Hut. Each type has their typical exterior material palette outlined below.

Wood Frame

The proposed Wood Frame buildings on the site are: Main Building, Steam Sauna, Dry Sauna, Facial Hut and Resting Hut. These are constructed of wood stud framing on a concrete foundation.

The exterior materials proposed are:

- Painted vertical wood cladding; shiplap profile; dark grey
- Cedar wood cladding; V-groove profile (vertical or horizontal); natural
- Exposed concrete; clean/modern finish; natural
- Aluminum and/or vinyl framed windows; dark frames

Each Wood Frame type building proposed is further described below:

Main Building

Main Floor

- | | |
|--|-----------------------------|
| - Painted Vertical Wood | front and rear walls |
| - Cedar Wood Cladding | side walls |
| - Aluminum and/or Vinyl Framed Windows | office windows and entrance |

Basement

- | | |
|--|----------------------------|
| - Exposed Concrete | walls at walk-out basement |
| - Aluminum and/or Vinyl Framed Windows | windows at stairs |

Steam Sauna

- | | |
|--|----------------------|
| - Painted Vertical Wood | front and side walls |
| - Exposed Concrete | rear wall |
| - Aluminum and/or Vinyl Framed Windows | windows throughout |

Dry Sauna

- Painted Vertical Wood	front and side walls
- Exposed Concrete	rear wall
- Aluminum and/or Vinyl Framed Windows	windows throughout

Facial Hut

- Painted Vertical Wood	front and side walls
- Exposed Concrete	rear wall
- Aluminum and/or Vinyl Framed Windows	windows throughout

Resting Hut

- Painted Vertical Wood	all walls
- Aluminum and/or Vinyl Framed Windows	entry/windows throughout

Prefabricated Dome

The proposed Prefabricated Dome buildings on the site are: Overnight Rental Domes (3), Treatment Domes (3), Yoga Dome and Bistro Dome. These are constructed of metal framing on a wood platform.

The exterior materials proposed are:

- Architectural fabric; insulated (layered); white
- Metal framed windows; white/silver

Each Prefabricated Dome type building proposed is further described below:

Overnight Rental Domes (3)

- Architectural Fabric	all walls
- Metal Framed Windows	windows throughout

Treatment Domes (3)

- Architectural Fabric	all walls
- Metal Framed Windows	windows throughout

Yoga Dome

- Architectural Fabric	all walls
- Metal Framed Windows	windows throughout

Bistro Dome

- Architectural Fabric	all walls
- Metal Framed Windows	windows throughout

Prefabricated Hut

The proposed Prefabricated Hut buildings on the site are: Sauna Huts (3). These are prefabricated wood framed units.

The exterior materials proposed are:

- Wood Cladding; dark and/or natural
- Windows; frame colour TBD

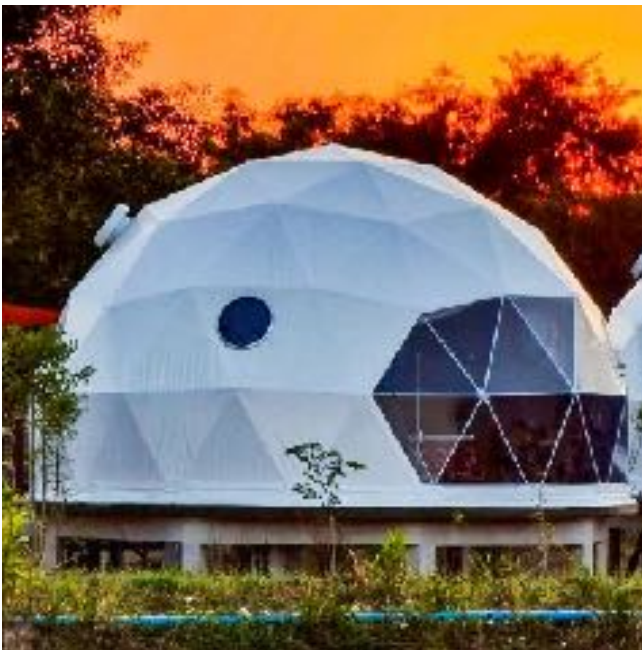
Each Prefabricated Hut type building proposed is further described below:

Sauna Huts (3)

- Wood Cladding	all walls
- Windows	windows throughout



The images above show Wood Frame construction and a contemporary building similar in appearance to the proposed Wood Frame buildings. (Note: building shown is for demonstration only and not the actual design proposed for the project; Credit: *House M* by CAAN Architecten)



The images above show a Prefabricated Dome and a Prefabricated Hut similar in appearance to the proposed domes and huts.

D. BUILDING HEIGHT & LOCATION

* Various graphical representations of LUR Section D items may be found in the Appendices of this document. Specific Appendix references are further outlined in this section.

The Iceavik Spa is proposed to be located at 1274 Blackhead Road. An access driving lane will connect Blackhead Road to the Spa's Main Building and parking area. Views of the spa buildings from Blackhead Road will be minimal or not visible as no buildings front directly on the road. The intent for the site is to have little impact on the existing natural conditions. Therefore, general screening for the site will inherently be provided by existing trees and greenery.

All buildings are to be 1-storey in height. The main building is proposed to have a walk-out basement while the remaining buildings have no basement. None of the buildings will encroach on property lines or setbacks.

Specific LUR Section D items and associated comments are outlined below.

Location of the proposed building in relation to neighbouring buildings

- See Context Maps in Appendix D of this document.

Proximity of the building to property lines and identify setbacks

- See Building Location Plans in Appendix D of this document.

Identify any stepbacks of higher storeys from lower storeys (if applicable)

- Not applicable. Buildings have no higher storey stepbacks proposed.

Identify any encroachment over property lines (if applicable)

- Not applicable. No encroachments are proposed.

Identify the height of all buildings

- Main Building	4.2 m (at main entrance)
- Steam Sauna	3.3 m
- Dry Sauna	3.3 m
- Facial Hut	3.3 m

- Overnight Rental Domes (3)	3.5 m (+ platform 0.5-0.9m)
- Treatment Domes (3)	3.5 m (+ platform 0.5-0.9m)
- Yoga Dome	5 m (+ platform 0.5-0.9m)
- Bistro Dome	5 m (+ platform 0.5-0.9m)
- Resting Hut	4.1m
- Sauna Huts (3)	2.5 m

Platforms noted above are for Domes only and vary in height at 0.5m - 0.9m.

Information on the proposed construction of patios/balconies (if applicable)

- The main building is proposed to feature a low, wood framed or concrete patio at grade for the walk-out basement. It is to be approximately 14.1 m x 1.8 m in size.
- The Steam Sauna, Dry Sauna and Facial Hut are proposed to feature low, wood framed patios at grade. They are to be approximately 1.8 m wide and wrapping around half of each building.
- All Domes are proposed to have low, wood framed platforms. See Appendix D for more information.

Identify if the building will be sprinklered or not

- No buildings are proposed to be sprinklered. Such is not required by Code for the buildings proposed.

Provide streetscape views/renderings of the proposed building from the property frontage at Blackhead Road.

- See Streetscape View in Appendix D of this document. (Existing View included)

Provide a Legal Survey of the property

- See Legal Survey in Appendix D of this document.

E. EXTERIOR EQUIPMENT AND LIGHTING

Lighting

The Iceavik Spa is proposed to operate after dark at times. Lighting is proposed for: (A) general site lighting for pathways and outdoor amenities, (B) building lighting for entrances/exits and feature lighting, (C) parking lot and driving lane illumination.

Proposed lighting is further described below.

General Site Lighting

- Building-mounted directional flood lighting
- Pole-mounted directional flood lighting
- Low-mounted pathway lighting

Building lighting

- Building-mounted directional lighting at entrances and exits
- Wash type building feature lighting
- Soffit-mounted pot-lighting at Main Building entrance and basement walk-out

Parking Lot and Driving Lane Illumination

- Pole-mounted directional flood lighting

Due to the heavily treed nature of the site along with the generous distance of buildings from property lines, the proposed lighting is not expected to impact neighbouring properties. In addition to this, lighting will be directional and positioned in a manner to not spread beyond the property or the features being lit.

The lighting layout will be designed such that there will be no measurable light trespass off the property from the installed fixtures, except at the property access driving lane intersection with Blackhead Road, which will be brightly lit for safety. This will not affect neighbouring private properties.

In general, the parking lot, driving lane and walkways will be illuminated with pole and building mounted LED light fixtures with a colour temperature of 4000K and a good colour rendering index. All light fixtures used will be dark-sky friendly and have full cut-off housings.

The parking lot and driving lane will be illuminated to 20 Lux. The area around the building and the driving lane intersection at Blackhead Road will be illuminated to 50 Lux. Fixture optics will be selected to keep the light contained to the area of use; the parking lot will use large square distributions, while walkways and the driveway will use optics with long side throws and short forward throws.

The walkways behind the building will be illuminated with both safety and aesthetics in mind. Because the danger of vehicular activity is removed, lower poles with more subdued lighting may be used in places for aesthetic purposes. Landscape lighting may also be used if the detailed design allows. Where pools and water features are located, the area will be brightly lit to allow staff to easily monitor the space day or night.

See Appendix E of this document for additional lighting information.



The images above show a full cut-off type LED fixture and a parking lot featuring lighting types designed to limit light spill. (Note: these images are for illustration purposes and actual full cut-off fixture models may differ for the project) See Appendix E for drawing showing extent of light transmitted from proposed fixtures.

Exterior Equipment

Should any HVAC equipment require exterior placement, rooftop units would likely be employed. Otherwise, screens and fencing will be employed to conceal ground-based equipment.

F. LANDSCAPING AND BUFFERING

* A Schematic Landscaping Plan can be found in Appendix F of this document.

Landscaping

Due to the general intent for the Iceavik Spa to have minimal impact on the natural conditions of the site, much of the existing trees, shrubs and greenery will remain intact. Pathways throughout the property are proposed to be compacted gravel hardscaping. Pool decks are planned to be hard surfacing such as concrete or stone/paver. The parking lot is currently planned to feature a treed buffer roughly in its centre to introduce softscaping within the lot.

<u>Proposed Soft Landscaping/Undisturbed Areas on Site</u>	<u>30,017 m² (87.8%)</u>
<u>Proposed Hard Landscaping/Pathways on Site</u>	<u>693 m² (2%)</u>
<u>Total Landscaping on Site (Soft and Hard)</u>	<u>30,710 m² (89.8%)</u>

Buffering (of Equipment)

No large scale ground-based equipment (i.e. transformer) is planned for the site. Refuse is intended to be stored internally within the building(s) until removed from the property. Should any large scale ground-based equipment or exterior refuse storage be required, it shall be located near the Main Building and screened with wood privacy fencing.

G. SNOW CLEARING AND STORAGE

Snow clearing for the Iceavik Spa will be required for the parking lot, driving lane, pathways, entrances/exits and pool decks. The parking lot and driving lane will be cleared by means of contracted plowing. Due to the ample space on the property, cleared snow will be stored in locations adjacent to the parking lot and driving lane. Pathways, entrances/exits and pool decks will be cleared by small equipment and shovelling. Snow cleared from these areas will be stored in adjacent locations. No snow from the Iceavik Spa shall require storage on neighbouring or public/City property.

See the Schematic Snow Storage Plan in Appendix G of this document for additional snow storage information.

H. OFF STREET PARKING AND SITE ACCESS

*A Schematic Parking Plan can be found in Appendix H of this document.

The proposed parking for the Iceavik Spa features 53 parking stalls. 4 of the 53 stalls are planned as accessible stalls. The parking lot is accessed from Blackhead Road via an access driving lane. Parking layout and stall design are to meet City and Provincial guidelines as applicable. Basic stalls are to be 2.74m wide x 5.79m long and oriented 90 degrees to the driving lanes. Accessible stalls (4 total) are to meet Provincial guidelines and will include Van-Sized parking (2). The driving lanes including the access lane are to be 7.32m wide.

Bicycle parking for 6 is proposed to be located near the main building. Access to the building from the parking and driving lane will be via a hardscaped pathway. Particular features for construction are proposed to meet City guidelines and policies.

Parking on Site

- Basic Stalls	49
- Standard-Size Accessible Stalls	2
- Van-Size Accessible Stalls	2
Total Motor Vehicle Parking	53
 - Bicycle Spaces	 6

I. SITE SERVICING

Water and Septic

Due to the location of the site, the Iceavik Spa will not have access to City water and sewer services. As a result, the site will be (primarily) serviced with well and septic. The day to day operations will have water provided by an on-site well. However, operations requiring large quantities of water at a given time (i.e. pool filling) may have water trucked to site from another source. An on-site septic system is proposed for sewer management. This may be in the form of a traditional septic field or may be a small, specifically sized water treatment plant with water dispersement.

Initial discussions with GSC have determined that the anticipated sanitary sewage flow for the Iceavik Spa will be :

200 People at 75L/day with prepared catering at 15L/day (80L/day Tot.) = 16,000L/day

Should an on-site treatment system be used, the Blivet BL1000 unit has a design flow of 23,000L/day giving roughly 50% additional capacity.

The size of the drainage field for the treated effluent as per GSC for BMSna Blivet Treatment systems would be 125m of tile field lines.

Additional information regarding on-site treatment plants can be found in Appendix I.

Stormwater Detention

Stormwater modelling has been undertaken to examine the pre and post development stormwater flows for the site. Below is the table of findings.

Summary of Pre and Post Development Conditions

Project: 1274 Blackhead Road - Iceavik Spa

Completed by: Stephen Power, P.Eng.

Date: 28-10-2022

100 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	434	434	561	561	2049	2049	2076	2076
2 hr	504	504	565	565	2708	2708	2735	2735
6 hr	410	410	432	432	4221	4221	4248	4248
12 hr	379	379	388	388	5691	5691	5718	5718
24 hr	196	196	197	197	6802	6802	6829	6829

50 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	368	368	481	481	1826	1826	1853	1853
2 hr	434	434	491	491	2416	2416	2443	2443
6 hr	362	362	384	384	3792	3792	3819	3819
12 hr	339	339	348	348	5104	5104	5130	5130
24 hr	175	175	176	176	6057	6057	6083	6083

25 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	305	305	404	404	1596	1596	1623	1623
2 hr	366	366	419	419	2125	2125	2151	2151
6 hr	316	316	336	336	3363	3363	3390	3390
12 hr	297	297	306	306	4513	4513	4540	4540
24 hr	154	154	155	155	5320	5320	5346	5346

Additional information regarding stormwater modelling can be found in Appendix I.

Recent investigations have been made to confirm Provincial mapping and satellite imagery regarding watercourses in the vicinity. Site surveying undertaken early February 2023 indicated that no watercourses (including 15m buffer from a watercourse) exist on the property. Further investigations are to be undertaken in Spring 2023 to confirm. Should any watercourse be found near the development within a restricted distance, the development layout will be adjusted to have no impact on any watercourse.

J. CONSTRUCTION TIME FRAME

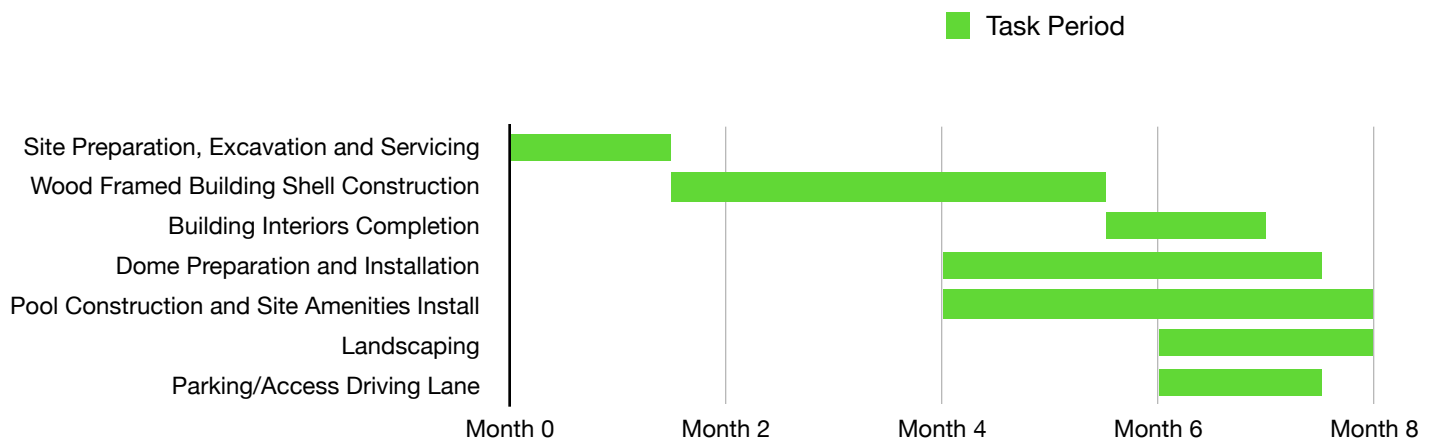
The overall construction time frame for the Iceavic Spa project is anticipated to be 8 Months in length. Outlined below are the expected durations for various tasks/items for the construction. The tasks/items outlined may overlap one or more other tasks/items due to simultaneous construction.

Individual Task/Item Construction Duration

- Site Preparation, Excavation and Servicing	1.5 months
- Wood Framed Building Shell Construction	4 months
- Building Interiors Completion	1.5 months
- Dome Preparation and Installation	2 months
- Pool Construction and Site Amenities Install	4 months
- Landscaping	2 months
- Parking/Access Driving Lane	1.5 months

Chart Showing Tasks/Item Timelines

Construction is planned to begin in April 2023 (month 0 in chart).



TERMS OF REFERENCE

The following is the 'Terms Of Reference' document issued by the City of St. John's on June 21, 2022.

TERMS OF REFERENCE LAND USE REPORT (LUR)

APPLICATION FOR A SPA FACILITY AND HOSPITALITY SERVICES AT

1274 BLACKHEAD ROAD PROPONENT: HW ARCHITECTURE

JUNE 21, 2022

The proponent shall identify significant impacts and, where appropriate, also identify measures to mitigate impacts on land uses adjoining the subject property. All information is to be submitted under one report in a form that can be reproduced for public information and review. The numbering and ordering scheme used in the report shall correspond with that used in this Terms of Reference and a copy of the Terms of Reference shall be included as part of the report (include an electronic PDF version with a maximum file size of 15MB). A list of those persons/agencies who prepared the Land Use Report shall be provided as part of the report. The following items shall be addressed by the proponent at its expense:

A. Public Consultation

- Prior to submitting a first draft of the Land Use Report to the City for review, the applicant must consult with adjacent property owners. The Land Use Report must include a section which discusses feedback and/or concerns from the neighbourhood and how the proposed design addresses the concerns.

B. Building Use.

- Identify the size of all proposed buildings by:
 - Gross Floor Area, and
 - Floor Area Ratio (FAR).
- Identify all proposed uses/occupancies within the building by their respective floor area.
- Identify the number of employees and the hours of operation.

C. Elevation & Building Materials

- Provide elevations of the proposed building.
- Identify the finish and colour of exterior building materials.

D. Building Height & Location

- Identify graphically the exact location with a dimensioned civil site plan:
 - Location of the proposed building in relation to neighbouring buildings;
 - Proximity of the building to property lines and identify setbacks;
 - Identify any setbacks of higher storeys from lower storeys (if applicable);
 - Identify any encroachment over property lines (if applicable);

- Identify the height of all buildings;
- Information on the proposed construction of patios/balconies (if applicable); and
- Identify if the building will be sprinklered or not.
- Provide street scape views/renderings of the proposed building from the property frontage at Blackhead Road.
- Provide a Legal Survey of the property.

E. Exterior Equipment and Lighting

- Identify the location and type of exterior lighting to be utilized, including parking lot lighting if applicable. Identify possible impacts on adjoining properties and measures to be instituted to minimize these impacts.
- Identify the location and type of any exterior HVAC equipment if applicable and identify possible impacts on adjoining properties and measures to be instituted to minimize these impacts.

F. Landscaping & Buffering

- Identify with a landscaping plan, details of site landscaping (hard and soft).
- Identify the location and proposed methods of screening of any electrical transformers and refuse containers to be used at the site.

G. Snow Clearing/Snow Storage

- Provide information on any snow clearing/snow removal operations.

H. Off-street Parking and Site Access

- Identify the number and location of off-street parking spaces to be provided, including accessible parking spaces.
- Identify the number and location of bicycle parking to be provided.
- Identify the location of all access and egress points.
- Plans must be in accordance with the City's Commercial Development Policy.

I. Site Servicing

- Indicate how water will be obtained and provide information on the proposed installation of onsite septic systems. Show locations on the site plan.
- The proposed development will be required to comply with the City's stormwater detention policy. Provide information on how onsite stormwater detention will be managed.

J. Construction Timeframe

- Indicate any phasing of the project and approximate timelines for beginning and completion of each phase or overall project.

APPENDICES

APPENDIX A- PUBLIC CONSULTATION

Address	Property Owners	Feedback
11XX Blackhead road	Property Owner #1	Strongly Support Spa location
11XX Blackhead Road	Property Owner #2, #3	Strongly Support Spa location
11XX Blackhead Road	Property Owner #4, #5	Strongly Support Spa location
12XX Blackhead Road	Property Owner #6	Strongly Support Spa location
12XX Blackhead Road	Property Owner #7, #8	Strongly Support Spa location
13XX Blackhead Road	Property Owner #9	Strongly Support Spa location
12XX Blackhead Road	Property Owner #10	Strongly Support Spa location
12XX Blackhead Road	Property Owner #11	Does not Support
13XX Blackhead Road	Property Owner #12	Undecided
12XX Blackhead Road	Property Owner #13	Undecided / No opinion verbalized

Questions/Comments from Public Regarding Spa Design or Operations	Response
From In-Person Canvassing:	
Will there be camping or campgrounds at the spa or on the property?	The overnight accommodation will not be camping and there will not be campground or similar facilities. The overnight accommodation facilities are not camping facilities therefore there are no 'sites'. The accommodations are within permanent structures and will operate similar to bed and breakfast establishments.
Regarding well water availability and will there be negative impacts on water supply for neighbouring properties.	Daily water use for the spa will be limited to sinks, showers, water closets and personal hydration. This can be sourced from an on-site well. The property is approximately 8.54 acres and will be sparsely developed by the spa thereby providing a low intensity of water use considering property size. Water flow tests are to be performed and the well infrastructure/ impact will have to meet provincial guidelines. Water for pools will be trucked to the spa from other sources.

Regarding the quad path that is next door to the spa and if it would remain.	It will remain as the spa does not own that land.
Several community members asked about the zoning and if it's possible to build a different commercial business other than a spa in this location.	The new zoning will only allow the spa use for this site other than currently allowed residential use.
Regarding the number of overnight guests at one time.	The overnight rental domes can accommodate up to 4 guests each. There are to be 3 overnight rental domes constructed. This means a total of 12 overnight guests maximum.
From City Online Engage Portal:	
Will individuals staying in the overnight (rental) domes be allowed to drive their vehicles into their site?	All vehicles for guests/users are to be parked in the paved parking lot. The overnight accommodation facilities are not camping facilities therefore there are no 'sites' to drive up to.
Will guests be allowed to bring alcohol to their (overnight rental dome)?	Our goal is to offer the ultimate relaxation and therefore if a guest chooses to relax with a glass of wine that will be their discretion. Similar to a hotel, we are not permitted to search guests' belongings. The spa is however for ultimate relaxation and therefore requires a tranquil and a peaceful environment, no loud noises will be tolerated both in the spa or the domes.
Will there be staff at the facility 24 hours?	For safety and to ensure proper protocol is adhered to, the spa will be monitored 24 hours a day.
What types of activities and amenities are (overnight) guests expected to avail of?	The overnight guests have access to the spa during business hours only. They will have a small kitchenette in their dome and a tv and outside they will have a couple wooden chairs.
Will they be sitting outside?	It is an outdoor spa so predominantly people will be outside in the hot pools, chairs, hammocks, walking etc. It is important to note that a tranquil and quiet facility is to be achieved by means of 'acceptable behaviour guidelines'.
Will there be music?	it is a 'whisper only' spa that uses nature to enhance your relaxation. There will be spa music playing quietly with the majority of the sound being from nature, water, wind etc.
Will there be fire places? Gas or wood?	There will be both gas and wood burning fireplaces in the facility and monitored/tended by staff.
What is the potential for expanding the (overnight rental) domes?	At this time there is no plan to expand past 3 overnight rental domes. Future expansion would require City approval processes.
How many more (overnight rental domes) do you have capacity to add?	That would depend on City regulations. At this time there is no plan to expand past 3 overnight rental domes.

Will there be alcohol served at this facility?	Yes, the plan is to apply for a liquor license. Alcohol is to be served only as a relaxation refreshment. Drunkenness will not be tolerated.
Will there be food served at this facility?	Yes, there will be.
Will there be retail outlets at this facility?	No.
What is the plan for traffic entering and exiting the facility?	Traffic will enter and exit via the private driving lane. When exiting, there will be a stop sign at the end of the lane where it meets Blackhead Road.
What type of night-time lighting will there be in the facility?	Night time lighting during business hours will consist of 'dark-sky' friendly, full cut-off and limited accent lighting. After business hours, light levels will be reduced and levels maintained for safety purposes only. Lighting will be designed to be contained within the property.
What is the capacity at any given time for customers in the entire facility?	The average user number at any given time is targeted to be approximately 60.
What type of signage is the proponent planning on erecting?	There will be a sign at the end of the driving lane directing traffic into the facility. Signage will be in keeping with City signage regulations.

APPENDIX B- BUILDING USE

SHEET KEY NOTES:

1. MAIN BUILDING _ 11.5m X 14.1m
2. STEAM SAUNA _ 7.7m X 7.7m
3. DRY SAUNA _ 7.7m X 7.7m
4. HOT POOLS (4; VARIOUS TEMPS.) _ 3.7m X 6.1m
5. COLD PLUNGE (DEEP PLUNGE)_ 1.5m X 2.4m
6. COLD PLUNGE (WALK-THROUGH) _ 2.4m X 4.6m
7. COLD PLUNGE (WATERFALL) _ 2.4m X 4.6m
8. FACIAL HUT _ 7.7m X 7.7m
9. OVERNIGHT RENTAL DOMES (3) _ 6.1m DIAMETER
10. YOGA DOME _ 10.1m DIAMETER
11. BISTRO DOME _ 10.1m DIAMETER
12. RESTING HUT _ 9.8m X 9.8m
13. PARKING _ TOTAL 53 STALLS (MAIN LOT + AT MAIN BUILDING)
14. ACCESSIBLE PARKING (4)
15. SAUNA HUTS (3)
16. WATER BUCKET DROPS (3)
17. TREATMENT DOMES (3) _ 6.1m DIAMETER
18. TOPOGRAPHIC CONTOUR LINE (5m ELEVATION CHANGES)
19. ADJACENT WOODS PATH
20. POWER LINES (EASEMENTS UNCONFIRMED)
21. CURRENT ZONING BOUNDARY
22. APPROXIMATE LOCATION OF WASTEWATER TREATMENT
23. UNDERGROUND WASTEWATER LINE (SCHEMATIC)
24. NATURAL ROCK FEATURES
25. PROPERTY LINE

GENERAL NOTES:

- A. PROPERTY WILL BE SERVICED BY ON SITE WELL AND WASTEWATER TREATMENT.
- B. AREAS NOT DEVELOPED WITH BUILDINGS, POOLS, PARKING AND PATHS WILL BE LEFT AS NATURAL LANDSCAPE.
- C. LOT AREA: 3.42 ha
- D. ALL STRUCTURES TO BE ONE-STOREY IN HEIGHT. MAIN BUILDING TO HAVE WALK-OUT BASEMENT.



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PROJECT TITLE

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St. John's, NL

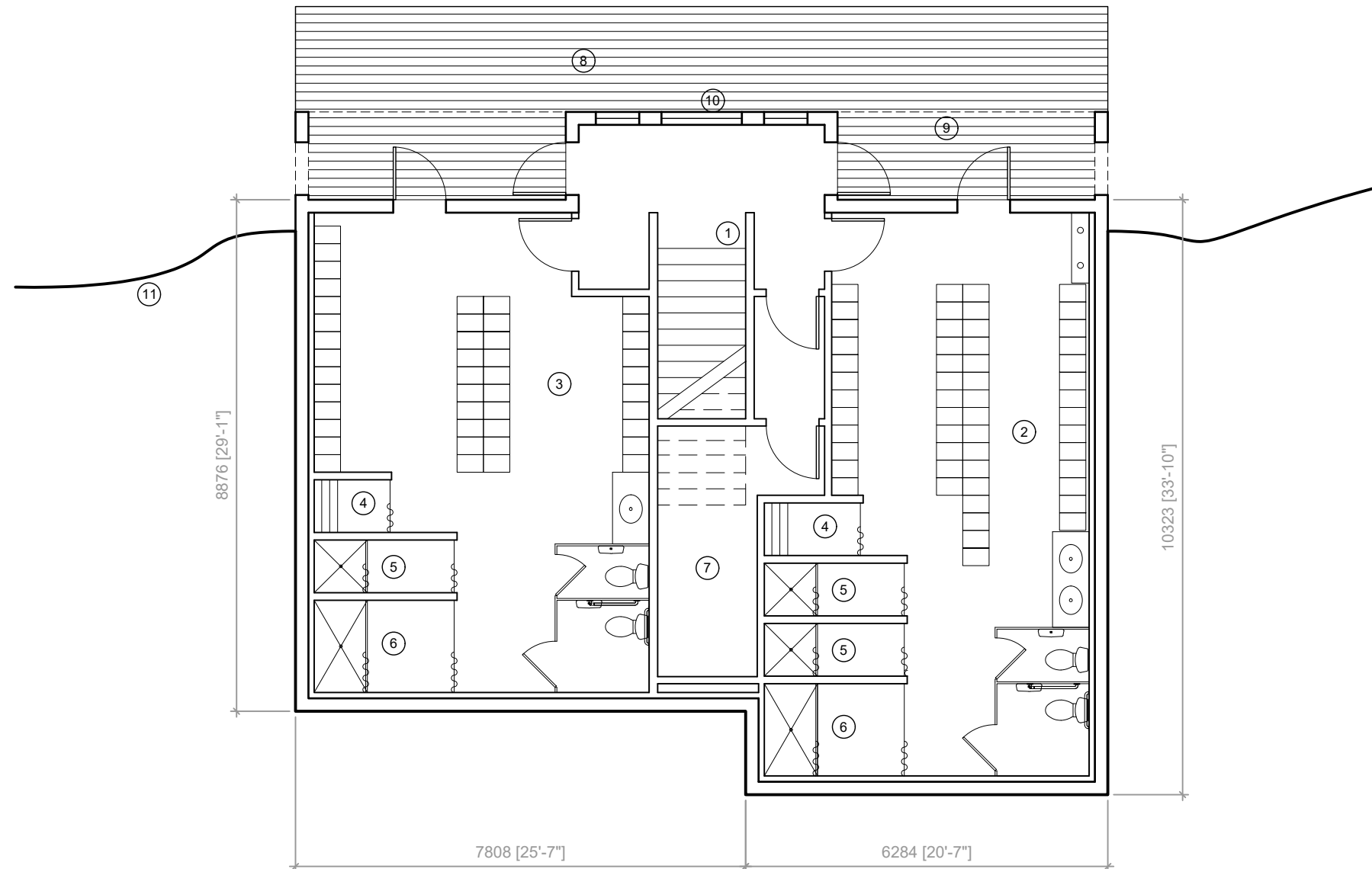
DRAWING TITLE

SITE KEY PLAN

DRAWING NUMBER

1.0

1. FEATURE STAIR AND WALL(S)
- 5' WIDE STAIRS
2. FEMALE CHANGE ROOM
- 108 LOCKERS
3. MALE CHANGE ROOM
- 88 LOCKERS
4. CHANGE STALLS
- 52" X 36" ; 64" X 36"
5. SHOWERS WITH CHANGE STALLS
- 36" x 36" SHOWER PLUS 60" X 36" CHANGE AREA
6. ACCESSIBLE SHOWER WITH CHANGE STALL
- 36" x 62" SHOWER PLUS 60" X 62" CHANGE AREA
7. UTILITY
- 5.5' x12'
8. OUTDOOR DECK
- 46' x 10'
9. OVERHANG ABOVE (DASHED LINE)
10. FEATURE WINDOW
11. BELOW GRADE



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DRAWING NUMBER

2.0

108

1 PROPOSED FLOOR PLAN - MAIN BUILDING - LEVEL 0 (BASEMENT)
2.0 SCALE : 1:50 (1:100 when printed 11X17)

1. MAIN ENTRANCE
2. LOBBY (WITH SEATING, MERCH. - NOT SHOWN)
- 25' X 11'
3. RECEPTION AREA
- 16' X 6.5'
4. FEATURE WALL
5. FEATURE STAIR AND WALL(S)
- 5' WIDE STAIRS
6. WOOD STOVE
7. OFFICE/FLEX SPACE
- 15' x 11'
8. OFFICE
- 15' x 10.5'
9. STAFF AREA
- 9' x 10.5'
10. STAFF WC (WITH SHOWER)
- 5' x 8'
11. STORAGE
- 5.5' x 5'
12. ACCESSIBLE CHANGE ROOM
- 12 LOCKERS
13. ACCESSIBLE SHOWER WITH CHANGE STALL
- 36" x 62" SHOWER PLUS 60" X 62" CHANGE AREA
14. ACCESSIBLE PATH TO OUTDOOR POOLS, SAUNAS, ETC.
15. OVERHANG ABOVE (DASHED LINE)



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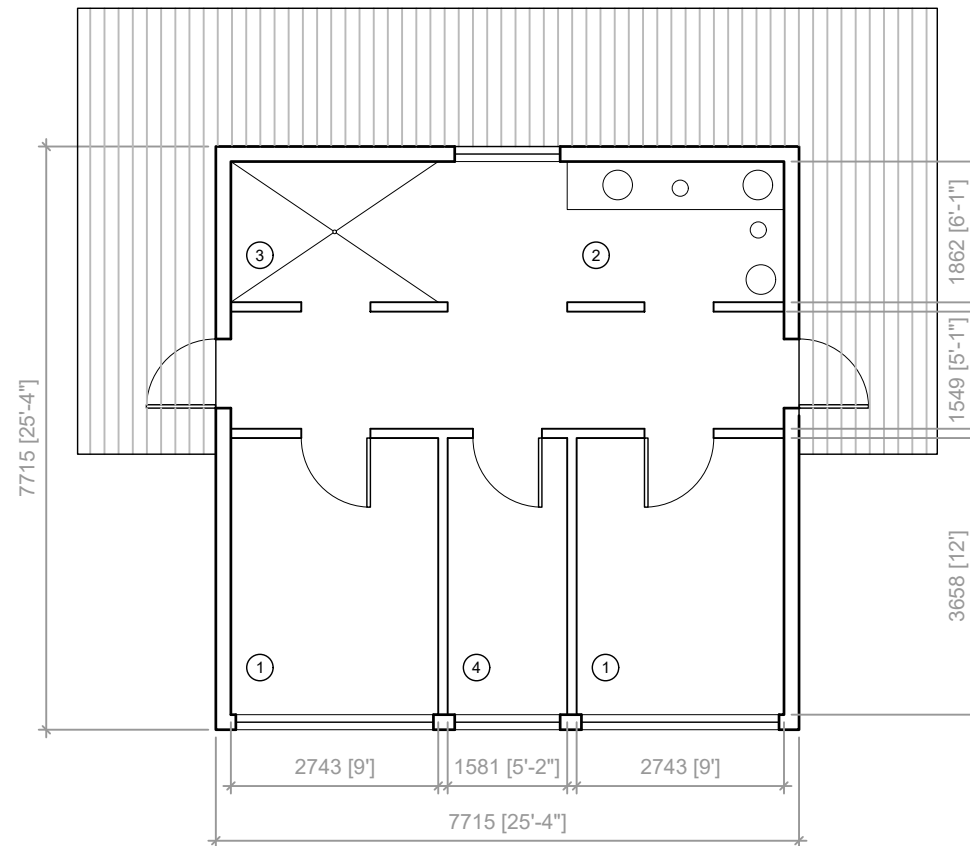
DRAWING TITLE

PROPOSED FLOOR PLAN
- MAIN BUILDING
LEVEL 1

DRAWING NUMBER

2.1

1. STEAM SAUNA ROOMS
- 9' X 12'
2. SALT SCRUB AREA
- 9' X 6'
3. SHOWER AREA
- 9' X 6'
4. UTILITY
- 5' X 12'



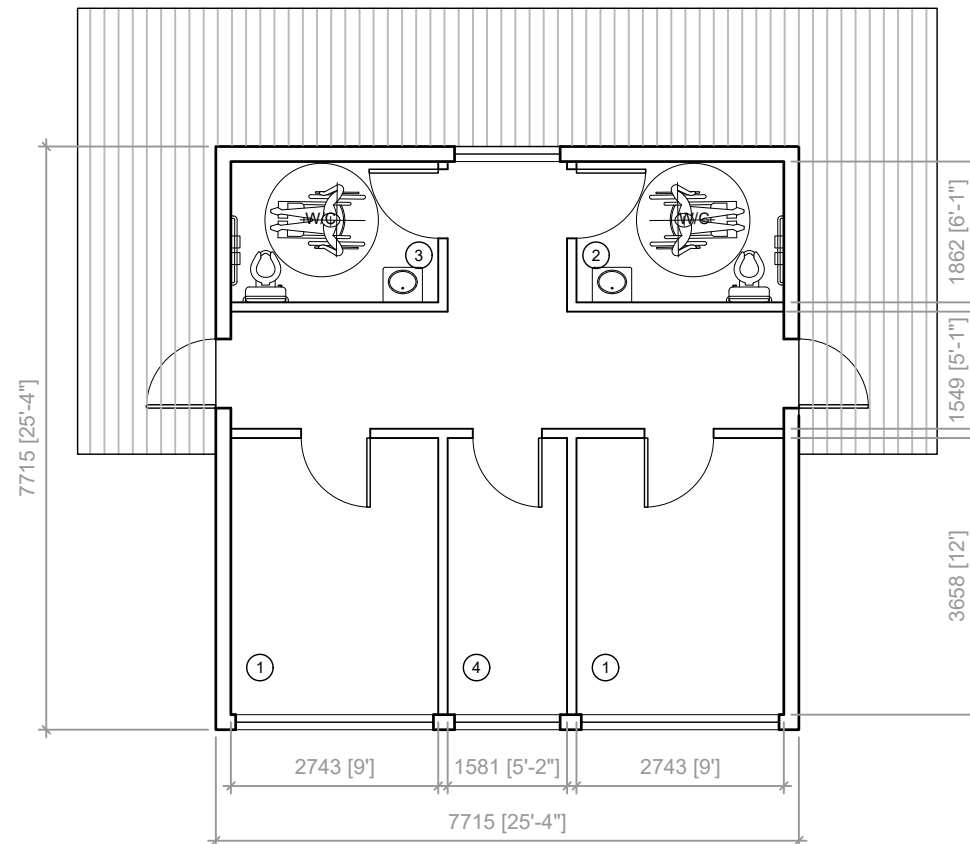
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110

1. DRY SAUNA ROOMS
- 9' X 12'
2. WASHROOM
- 9' X 6'
3. WASHROOM
- 9' X 6'
4. UTILITY
- 5' X 12'

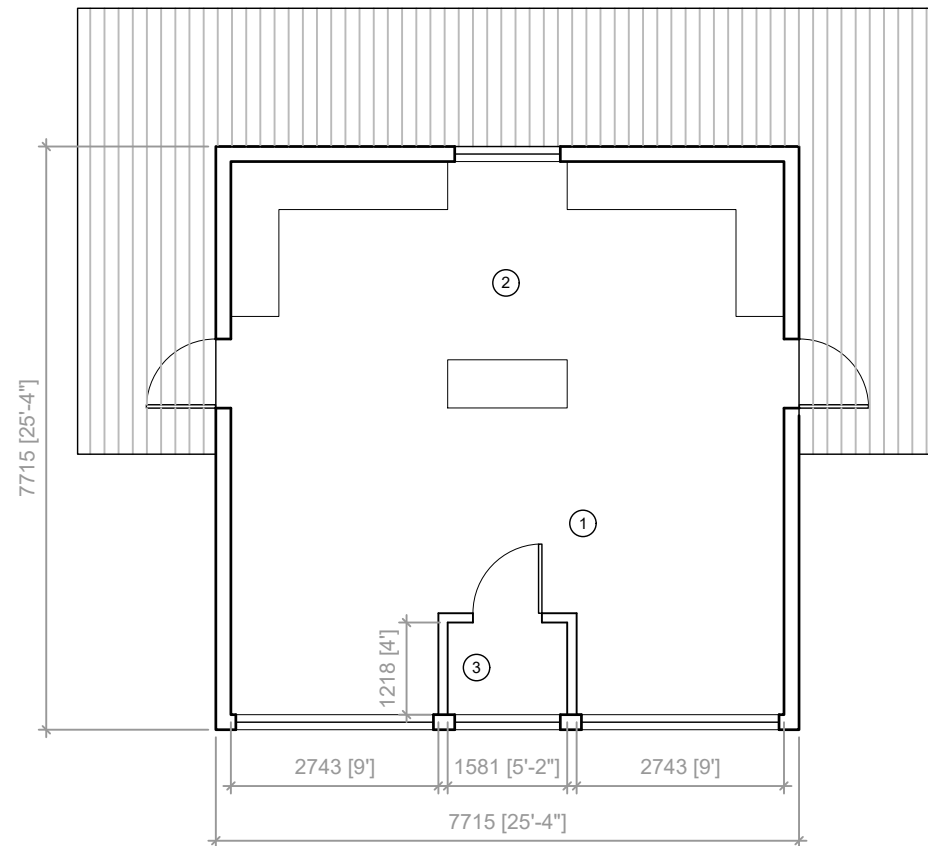


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2.4

1. REST AREA
- 24' X 12'
2. TREATMENT AREA
- 24' X 12'
3. UTILITY
- 5' X 4'



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PROPOSED FLOOR PLAN
- FACIAL HUT

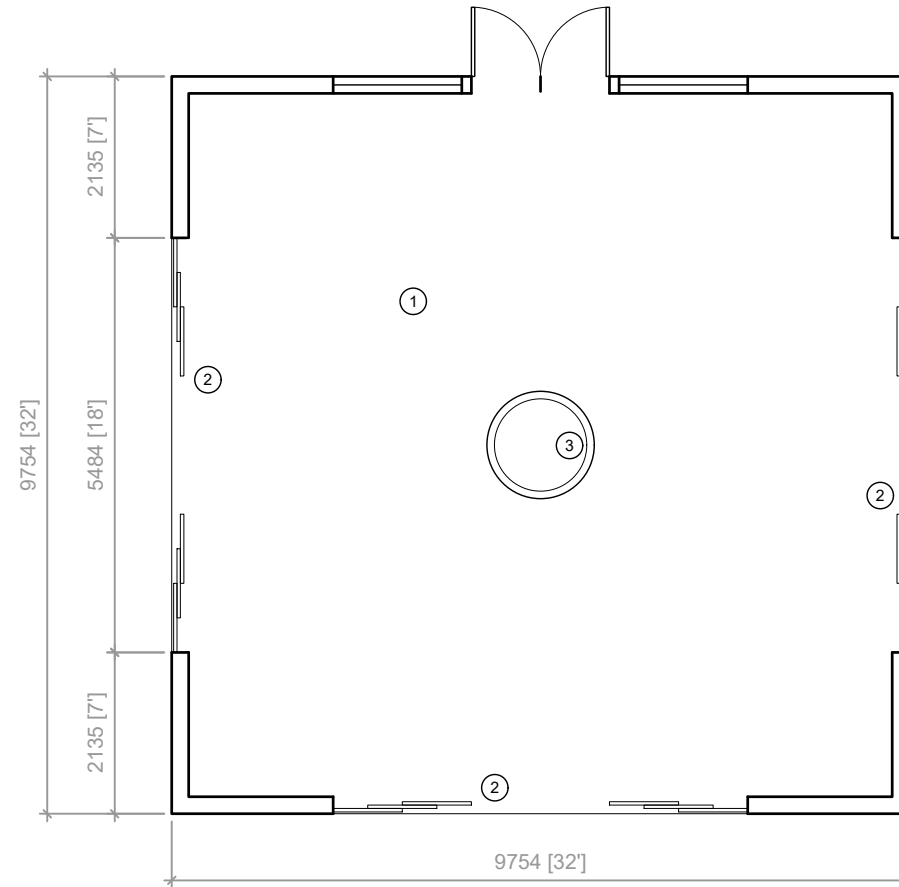
DRAWING NUMBER

2.5

112

1 PROPOSED FLOOR PLAN - FACIAL HUT
2.5 SCALE : 1:50 (1:100 when printed 11X17)

1. REST AREA
- 32' X 32'
2. RETRACTABLE WINDOWS
3. WARMING HEARTH



1 PROPOSED FLOOR PLAN - RESTING HUT
2.6 SCALE : 1:50 (1:100 when printed 11X17)



ICEAVIK Nordic Spa & Village

Domes

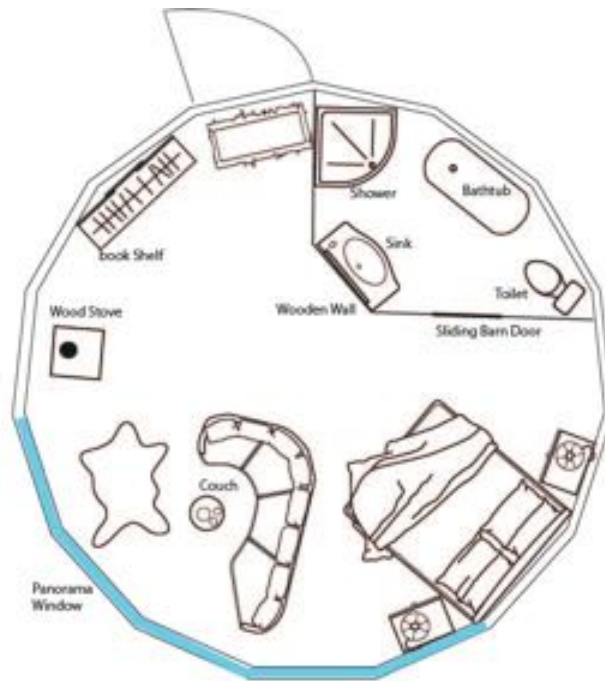
Accommodation Domes

Facilities: Kitchenette, Toilet/sink/shower

Heating: Ductless Heat pump

Photos are sample only







ICEAVIK Nordic Spa & Village

Treatment Domes

Facilities: Sink

Heating: Ductless Heat pump

Photos are sample only





ICEAVIK Nordic Spa & Village

Yoga / Events Dome 33'

Facilities: none

Heating: Woodstove and Ductless Heat Pump





ICEAVIK Nordic Spa & Village Bistro 33' Dome

Facilities: Stove, Fridge, Cooler

Heating: Wood Burning Fireplace & Heat Pump



FAQ's Phoenix Domes – Our supplier

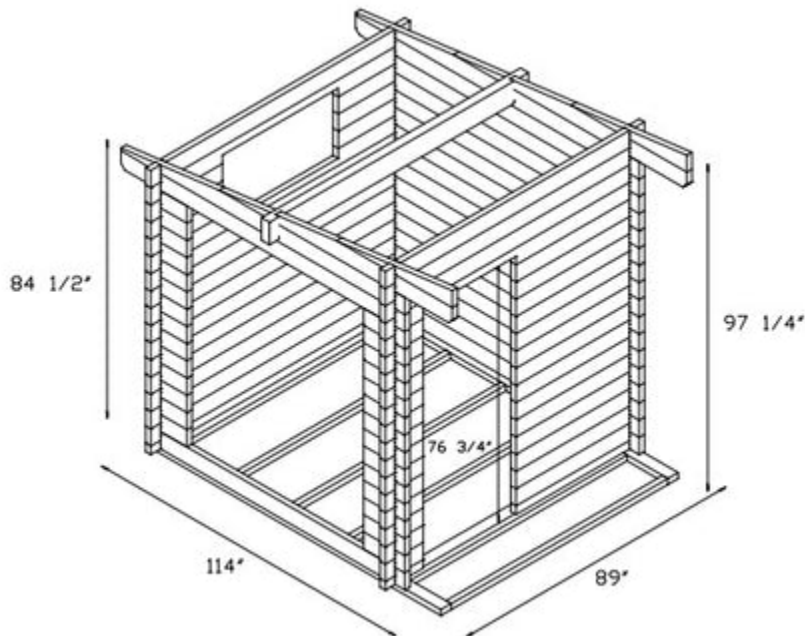
Additional info can be found at phoenixdomes.com

Saunas



PRODUCT SPECIFICATIONS

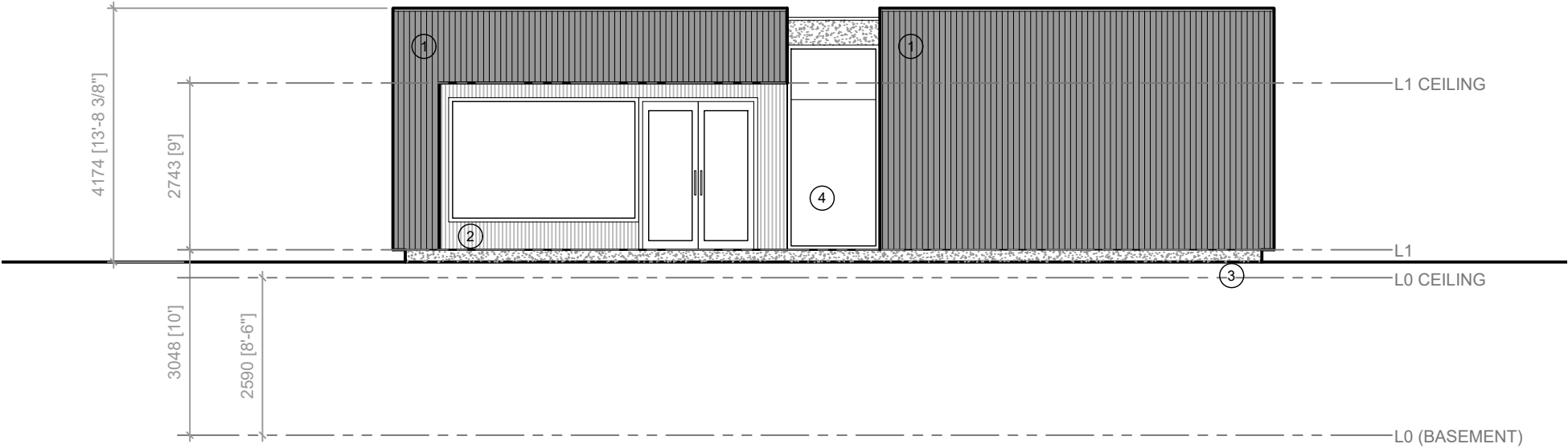
- Pre-cut and grooved Spruce lumber
- 1.7" wall thickness
- Outside Dimensions 114"L x 89" W x 84"H & 97H
- Inside Dimensions 79"L x 79" W x 79"H
- Tempered glass side window and 2 x front windows
- Wooden door with round glass window
- Slanted roof with small overhang on the door
- Wooden heater guard
- 2 flat bleacher-style sauna benches
- Choose from one our wood burning or electric heaters



APPENDIX C- ELEVATION AND BUILDING MATERIALS

SHEET KEY NOTES:

1. PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2. CEDAR WOOD CLADDING
- V-GROOVE PROFILE
- NATURAL
3. EXPOSED CONCRETE
- NATURAL
4. GLAZING
- ALUM. AND/OR VINYL FRAMED
- WINDOWS



2

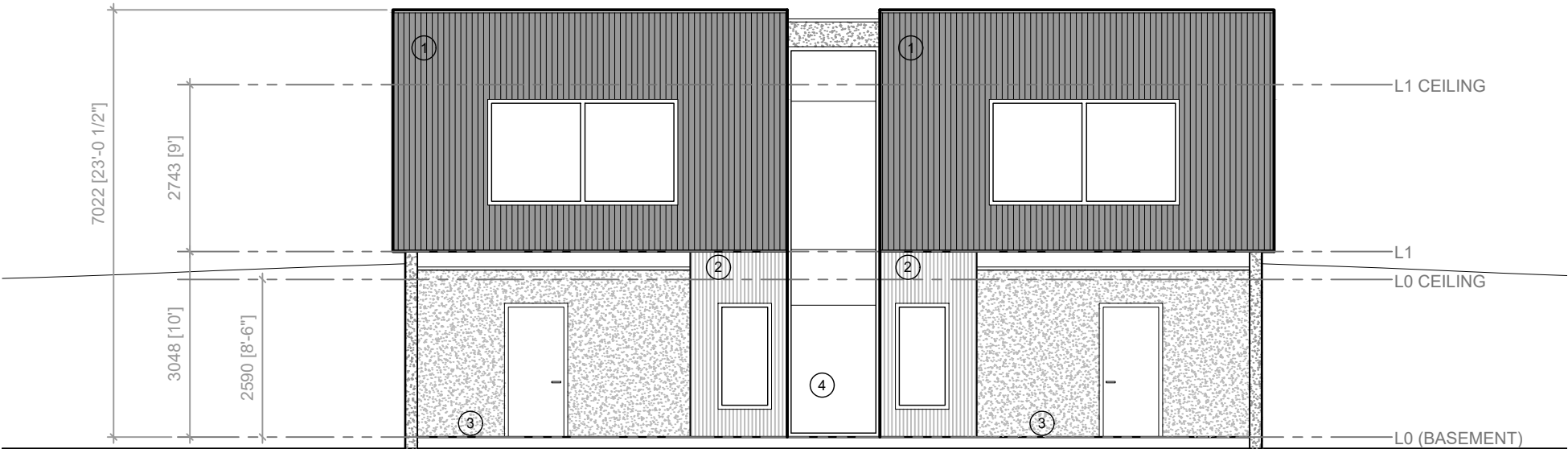
SCHEMATIC ELEVATION - MAIN BUILDING - FRONT

4.1

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1. PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2. CEDAR WOOD CLADDING
- V-GROOVE PROFILE
- NATURAL
3. EXPOSED CONCRETE
- NATURAL
4. GLAZING
- ALUM. AND/OR VINYL FRAMED
- WINDOWS



1

SCHEMATIC ELEVATION - MAIN BUILDING - REAR

4.1

SCALE : 1:50 (1:100 when printed 11X17)

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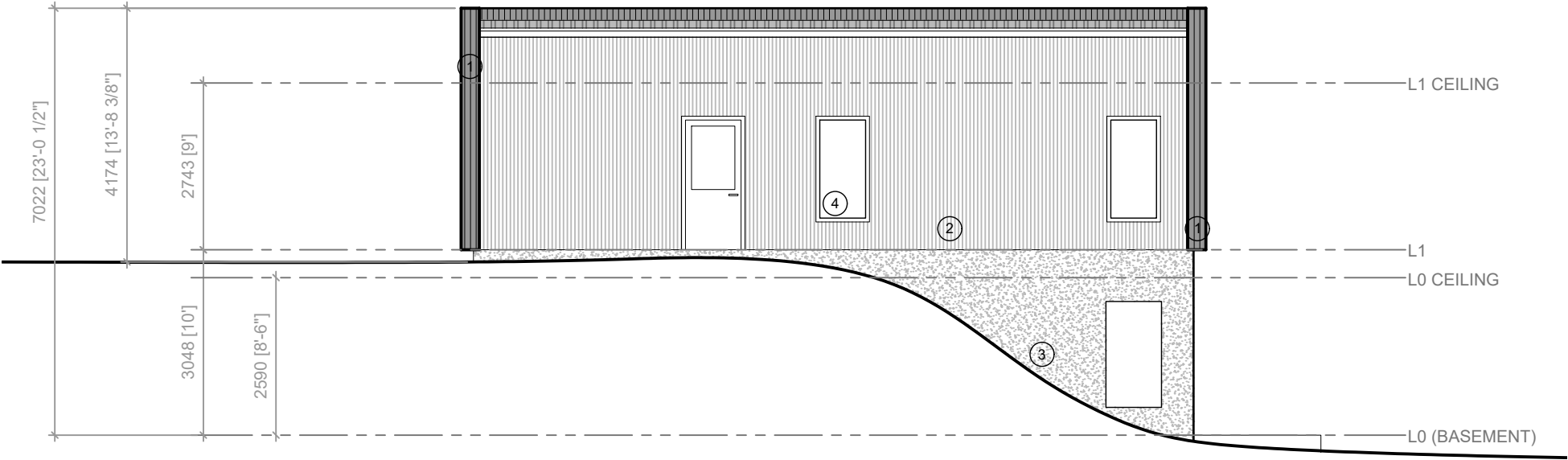
ELEVATIONS

DRAWING NUMBER

4.1

SHEET KEY NOTES:

1. PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2. CEDAR WOOD CLADDING
- V-GROOVE PROFILE
- NATURAL
3. EXPOSED CONCRETE
- NATURAL
4. GLAZING
- ALUM. AND/OR VINYL FRAMED
- WINDOWS



2

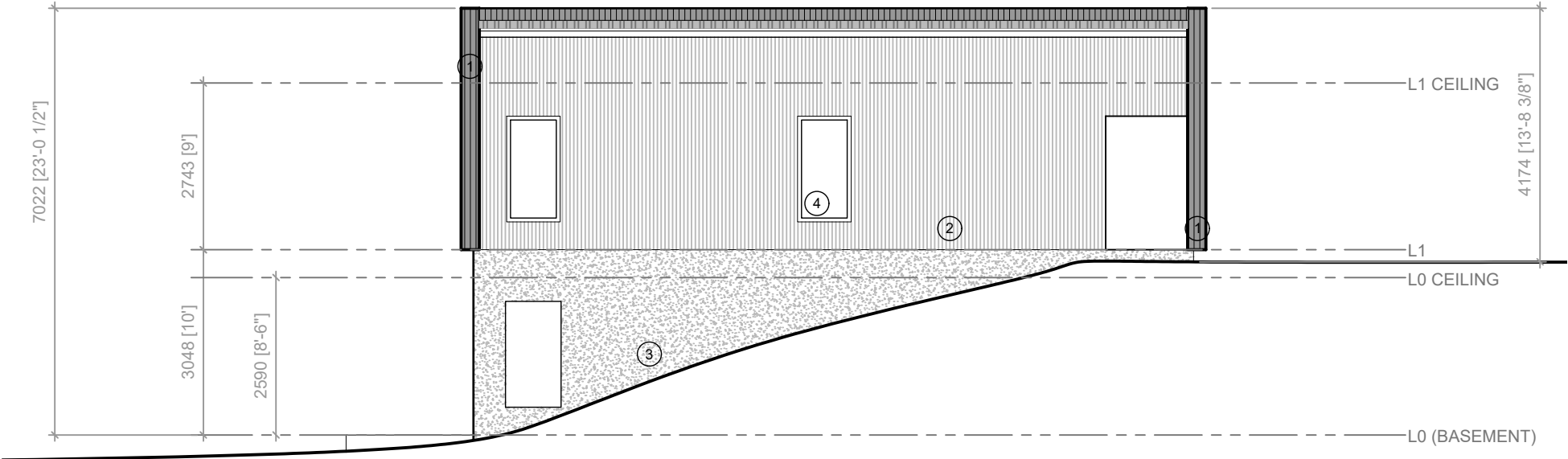
SCHEMATIC ELEVATION - MAIN BUILDING - SIDE

4.2

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1. PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2. CEDAR WOOD CLADDING
- V-GROOVE PROFILE
- NATURAL
3. EXPOSED CONCRETE
- NATURAL
4. GLAZING
- ALUM. AND/OR VINYL FRAMED
- WINDOWS



1

SCHEMATIC ELEVATION - MAIN BUILDING - SIDE

4.2

SCALE : 1:50 (1:100 when printed 11X17)

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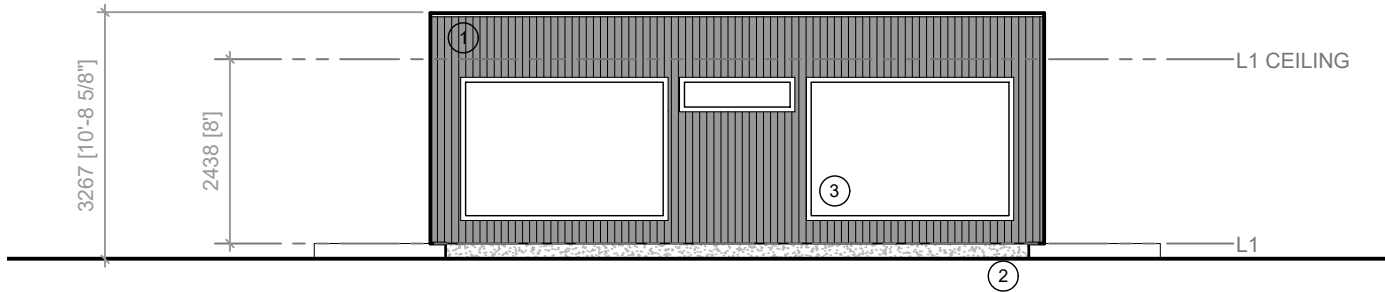
ELEVATIONS

DRAWING NUMBER

4.2

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- ALUM. AND/OR VINYL FRAMED
WINDOWS



2

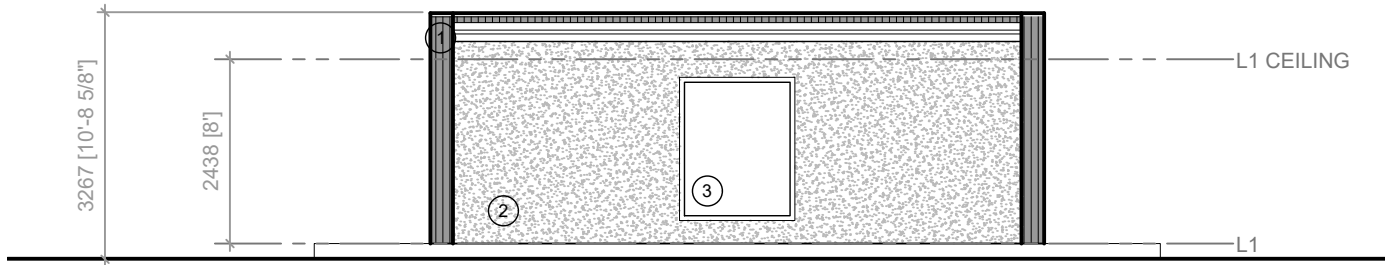
SCHEMATIC ELEVATION - STEAM SAUNA, DRY SAUNA, FACIAL HUT - FRONT

4.3

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- ALUM. AND/OR VINYL FRAMED
WINDOWS



1

SCHEMATIC ELEVATION - STEAM SAUNA, DRY SAUNA, FACIAL HUT - REAR

4.3

SCALE : 1:50 (1:100 when printed 11X17)

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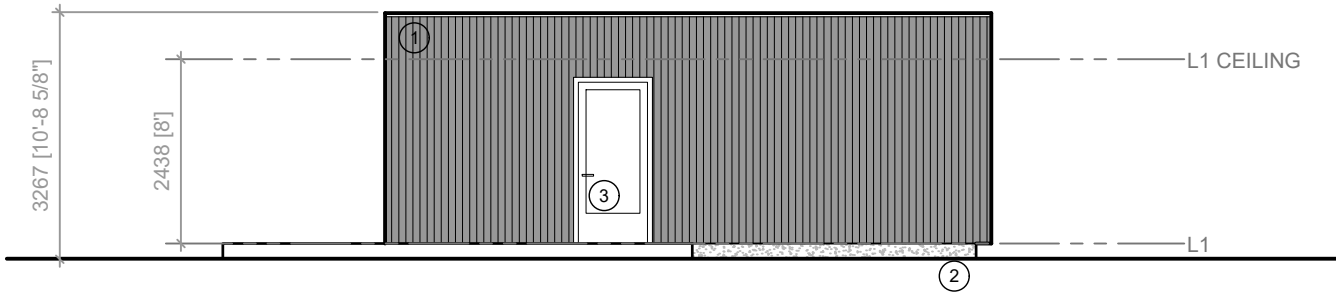
ELEVATIONS

DRAWING NUMBER

4.3

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- DOOR WITH LARGE WINDOW



2

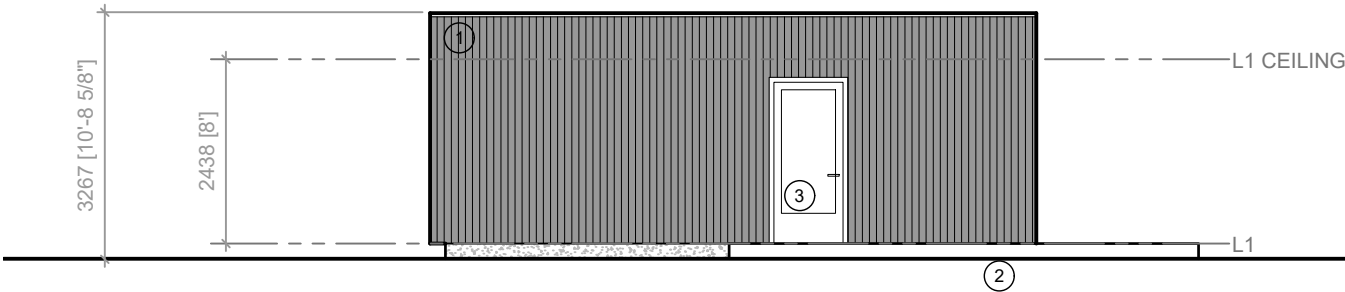
SCHEMATIC ELEVATION - STEAM SAUNA, DRY SAUNA, FACIAL HUT - SIDE

4.4

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- DOOR WITH LARGE WINDOW



1

SCHEMATIC ELEVATION - STEAM SAUNA, DRY SAUNA, FACIAL HUT - SIDE

4.4

SCALE : 1:50 (1:100 when printed 11X17)

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HWARCHITECTURE

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DRAWN BY:

PROJECT #:

3100-01

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4.
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5.
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PROJECT TITLE

ICEAVIK SPA

1274 Blackhead Road
St. John's, NL

DRAWING TITLE

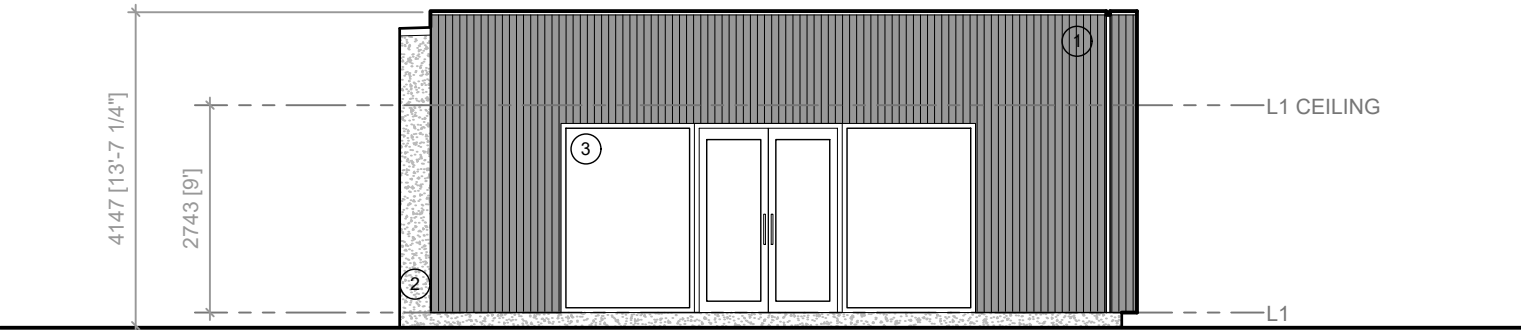
ELEVATIONS

DRAWING NUMBER

4.4

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- ALUM. AND/OR VINYL FRAMED
WINDOWS



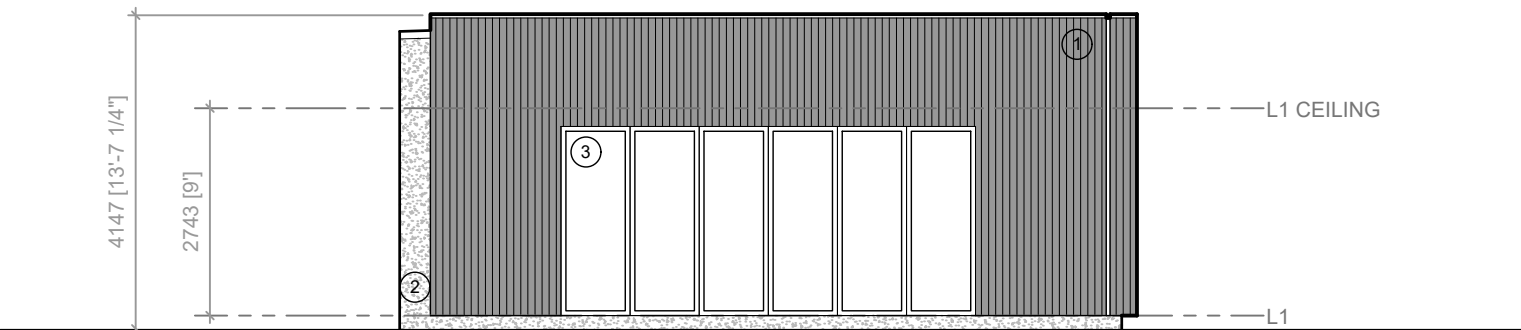
2
4.5

SCHEMATIC ELEVATION - RESTING HUT - FRONT

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1.
- PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2.
- EXPOSED CONCRETE
- NATURAL
3.
- GLAZING
- ALUM. RETRACTABLE WINDOWS



1
4.5

SCHEMATIC ELEVATION - RESTING HUT - REAR

SCALE : 1:50 (1:100 when printed 11X17)

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DRAWING TITLE

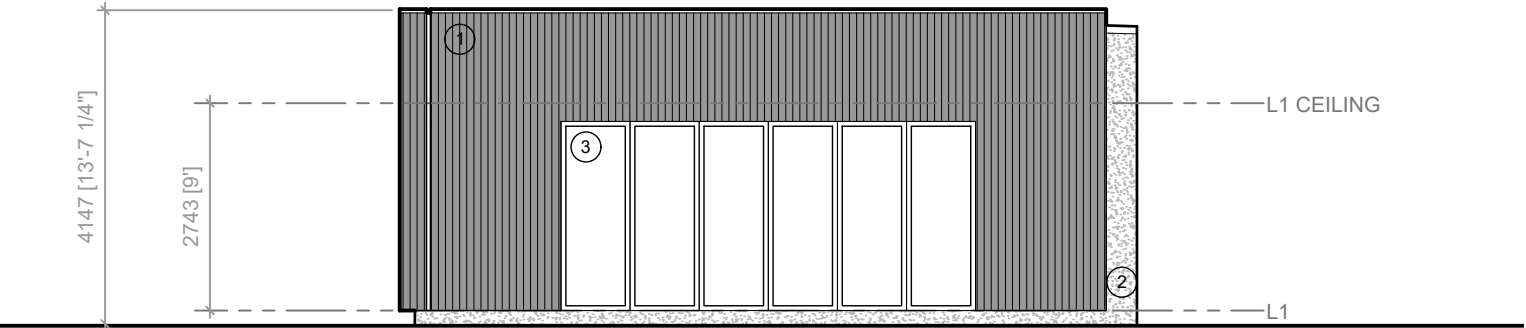
ELEVATIONS

DRAWING NUMBER

4.5

SHEET KEY NOTES:

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- SHIPLAP PROFILE
- DARK GREY
2. EXPOSED CONCRETE
- NATURAL
3. GLAZING
- ALUM. RETRACTABLE WINDOWS



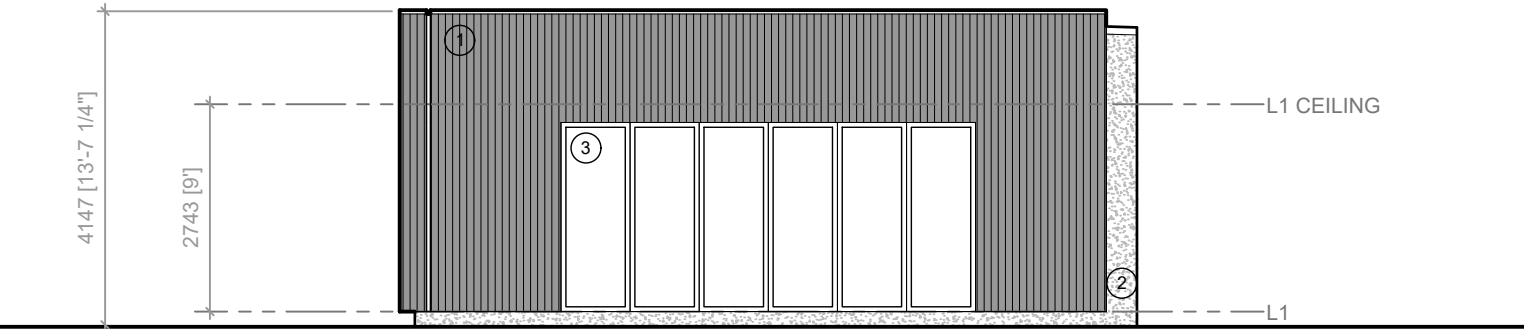
2
4.6

SCHEMATIC ELEVATION - RESTING HUT - SIDE

SCALE : 1:50 (1:100 when printed 11X17)

SHEET KEY NOTES:

1. PAINTED VERTICAL WOOD CLADDING
- SHIPLAP PROFILE
- DARK GREY
2. EXPOSED CONCRETE
- NATURAL
3. GLAZING
- ALUM. RETRACTABLE WINDOWS



1
4.6

SCHEMATIC ELEVATION - RESTING HUT - SIDE

SCALE : 1:50 (1:100 when printed 11X17)

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PROJECT TITLE

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ELEVATIONS

DRAWING NUMBER

4.6



DOME HEIGHTS VARY: 3.5m - 5.0m

PLATFORM HEIGHTS VARY: 0.5m - 0.6m (in addition to dome heights)

Saunas



PRODUCT SPECIFICATIONS

SAUNA HUT HEIGHTS: 2.5m

APPENDIX D- BUILDING HEIGHT AND LOCATION



SUBJECT PROPERTY

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PROJECT TITLE

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DRAWING TITLE

CONTEXT MAP #2

DRAWING NUMBER

1.2

132

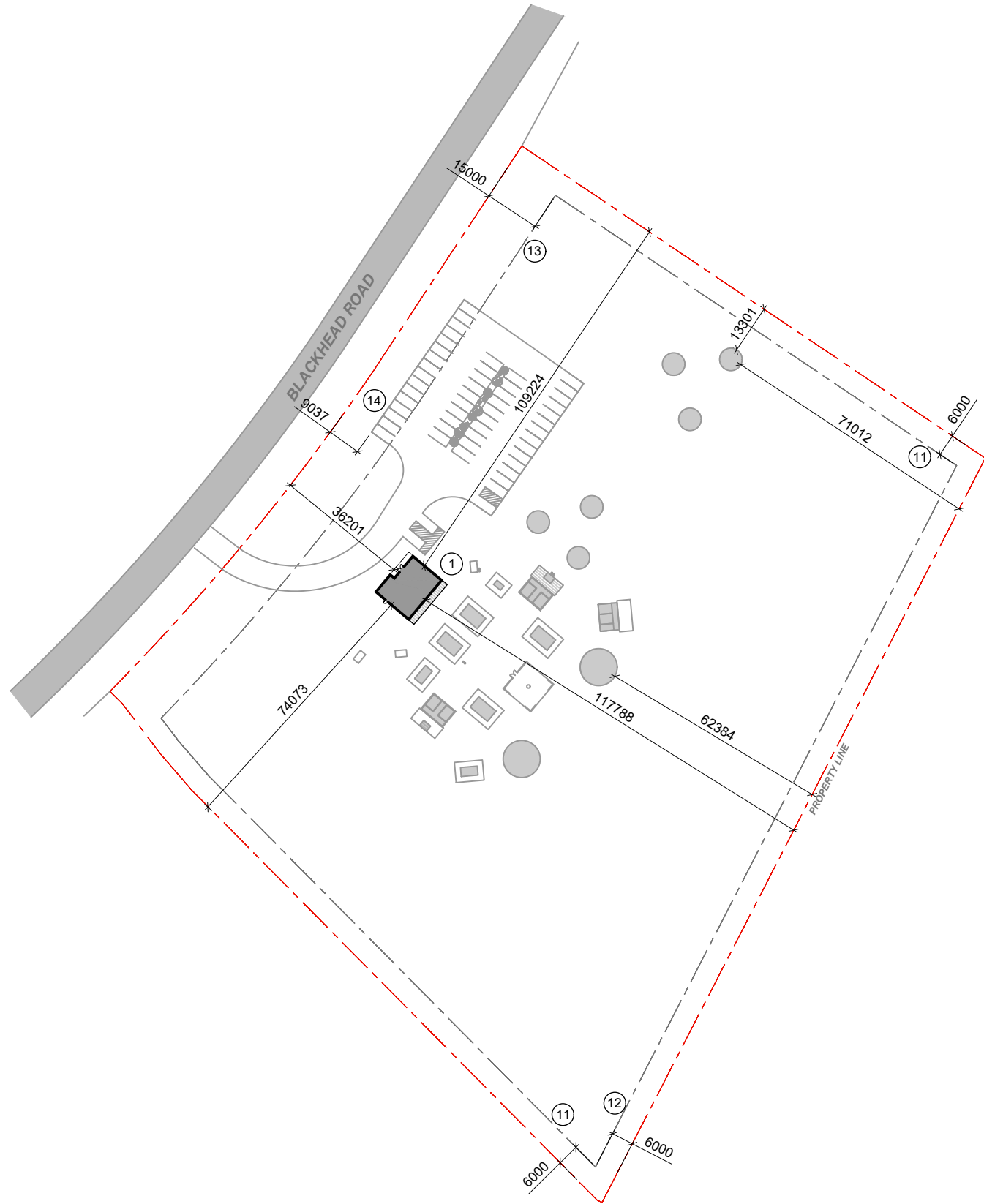
1
1.2

SHEET KEY NOTES:

1. MAIN BUILDING _ HEIGHT: 4.2m (at main entrance)
2. STEAM SAUNA _ HEIGHT: 3.3m
3. DRY SAUNA _ HEIGHT: 3.3m
4. FACIAL HUT _ HEIGHT: 3.3m
5. OVERNIGHT RENTAL DOMES (3) _ HEIGHT: 3.5m
6. YOGA DOME _ HEIGHT: 5m
7. BISTRO DOME _ HEIGHT: 5m
8. RESTING HUT _ HEIGHT: 4.1m
9. SAUNA HUTS (3) _ HEIGHT: 2.5m
10. TREATMENT DOMES (3) _ HEIGHT: 3.5m
11. SIDE YARD _ 6m
12. REAR YARD _ 6m
13. BUILDING LINE SETBACK _ 15m
14. PARKING LOT STREET BUFFER

GENERAL NOTES:

- A. BUILDING SETBACKS SHOWN ARE BASED ON GREATEST VALUES PROVIDED IN CURRENT RURAL RESIDENTIAL ZONE REGULATIONS.
- B. SEE BUILDING LOCATION PLAN 1.4 FOR ADDITIONAL INFORMATION.



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PROJECT TITLE

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DRAWING TITLE

BUILDING LOCATION
PLAN

DRAWING NUMBER

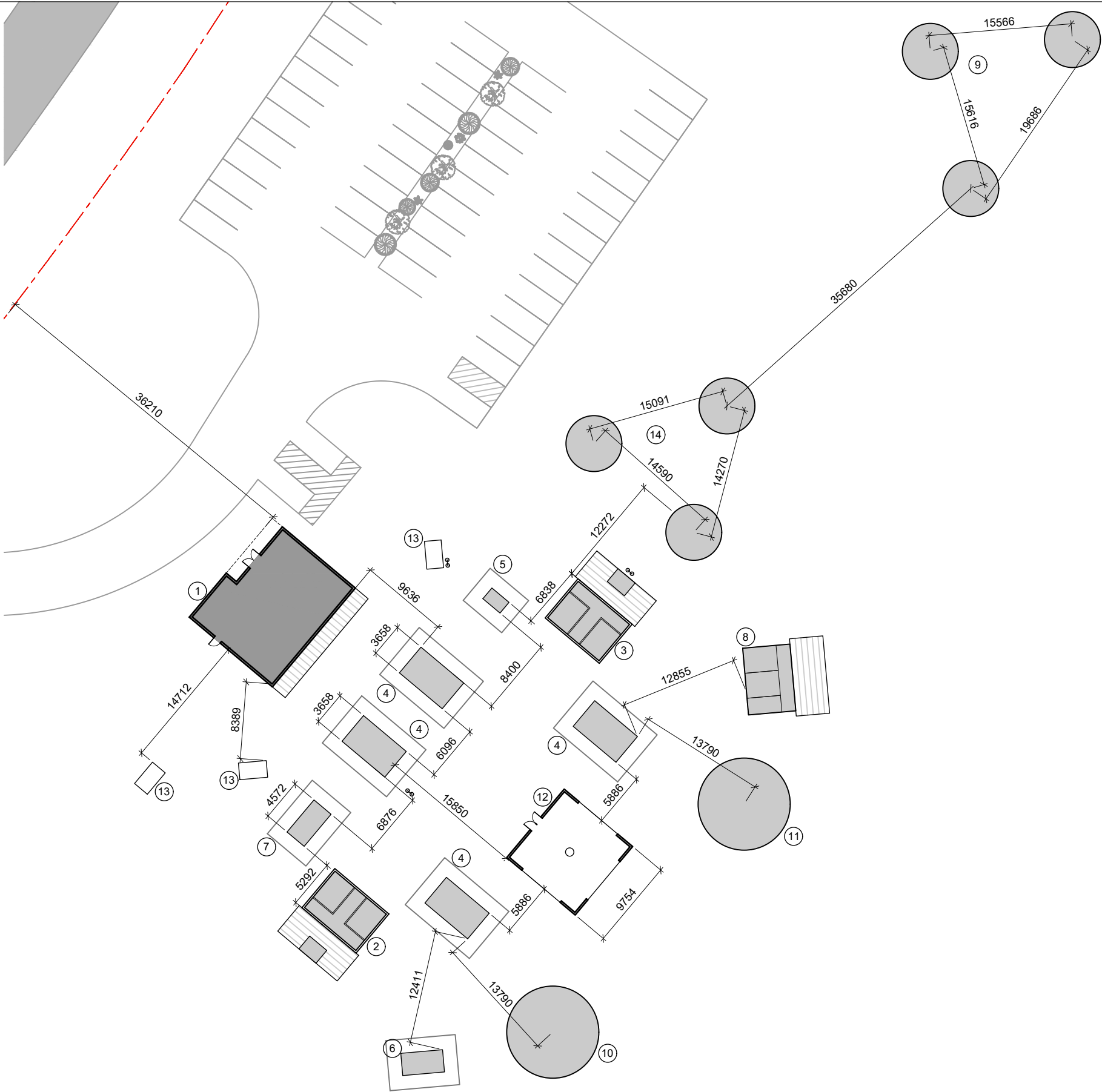
1.4

SHEET KEY NOTES:

1. MAIN BUILDING _ 11.5m X 14.1m
2. STEAM SAUNA _ 7.7m X 7.7m
3. DRY SAUNA _ 7.7m X 7.7m
4. HOT POOLS (4; VARIOUS TEMPS.) _ 3.7m X 6.1m
5. COLD PLUNGE (DEEP PLUNGE)_ 1.5m X 2.4m
6. COLD PLUNGE (WALK-THROUGH) _ 2.4m X 4.6m
7. COLD PLUNGE (WATERFALL) _ 2.4m X 4.6m
8. FACIAL HUT _ 7.7m X 7.7m
9. OVERNIGHT RENTAL DOMES (3) _ 6.1m DIAMETER
10. YOGA DOME _ 10.1m DIAMETER
11. BISTRO DOME _ 10.1m DIAMETER
12. RESTING HUT _ 9.8m X 9.8m
13. SAUNA HUTS (3)
14. TREATMENT DOMES (3) _ 6.1m DIAMETER

GENERAL NOTES:

- A. SEE BUILDING LOCATION PLAN 1.4 FOR ADDITIONAL INFORMATION.



BUILDING LOCATION PLAN - ENLARGED

SCALE : 1:250 (1:500 when printed 11X17)

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ICEAVIK SPA

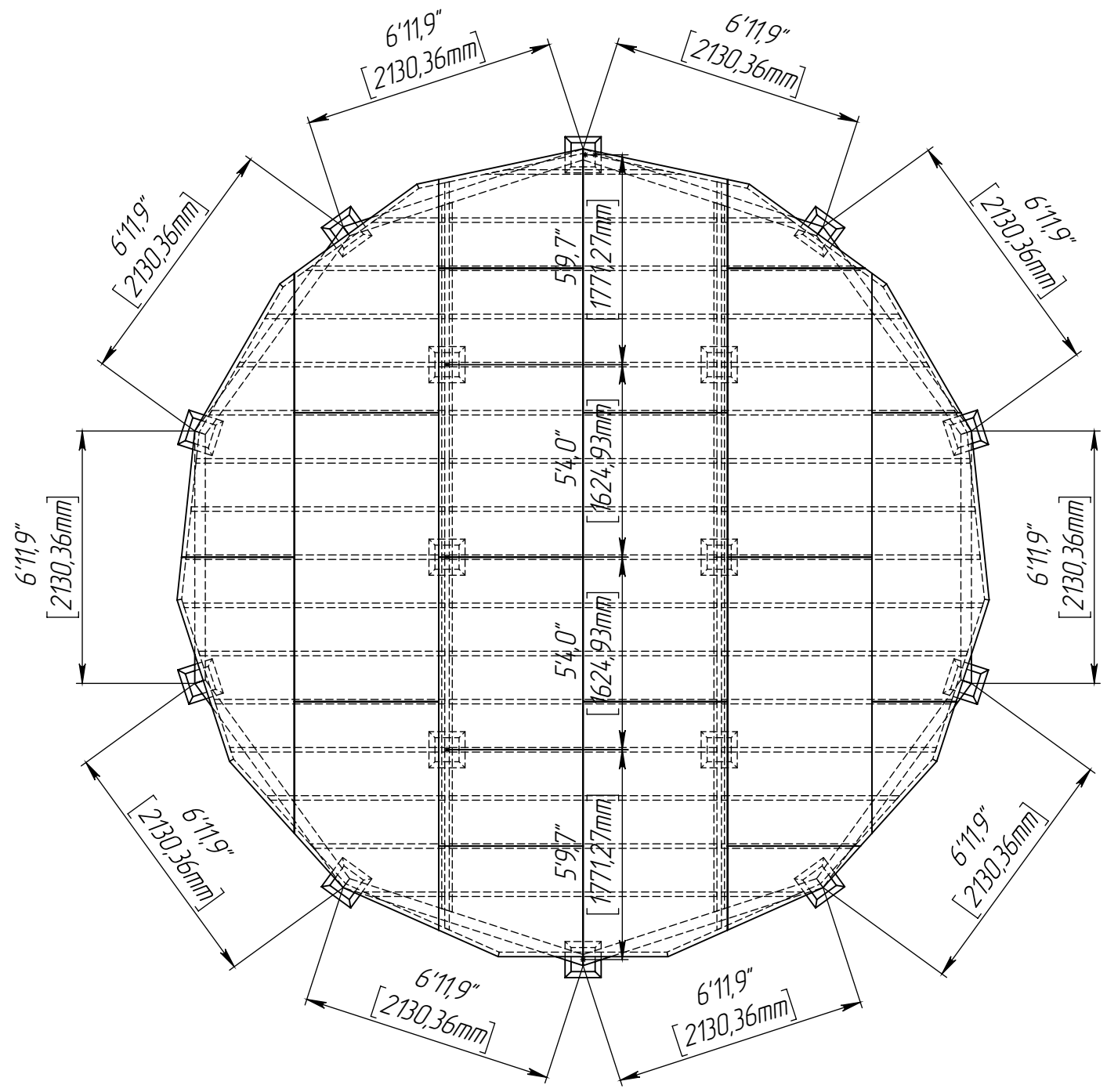
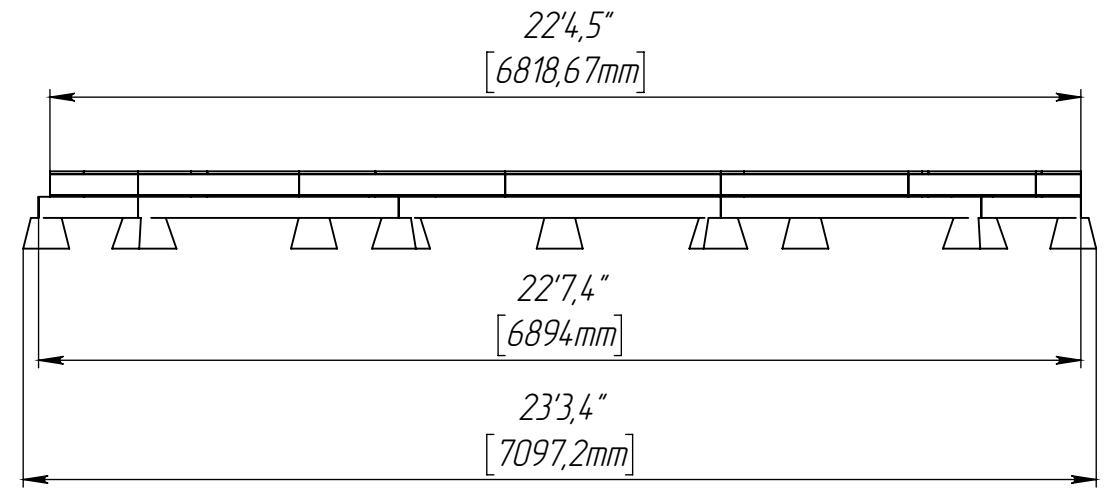
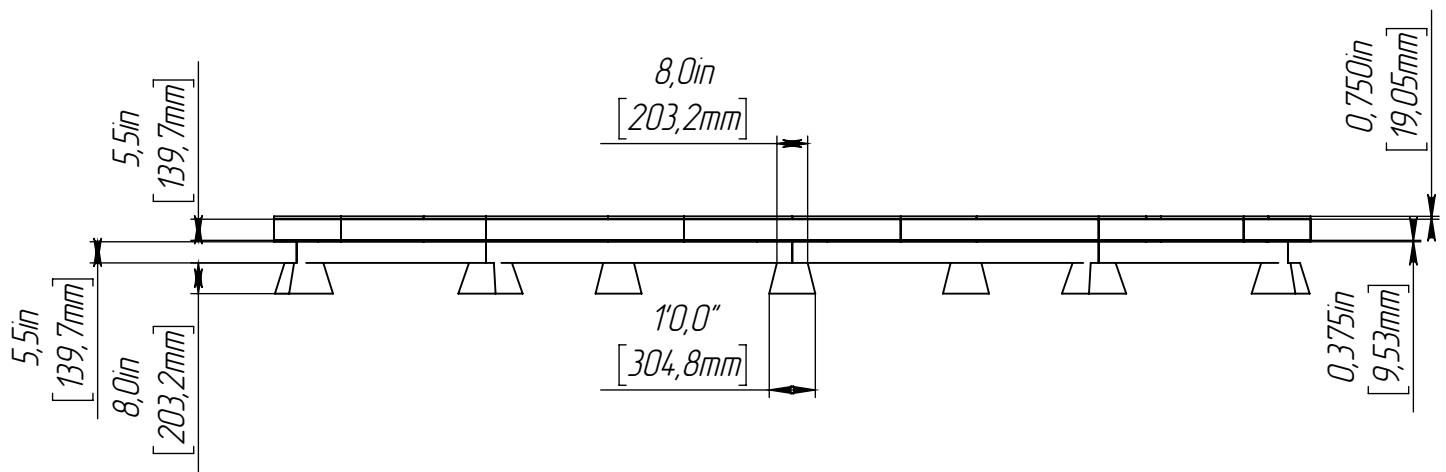
1274 Blackhead Road
St. John's, NL

DRAWING TITLE

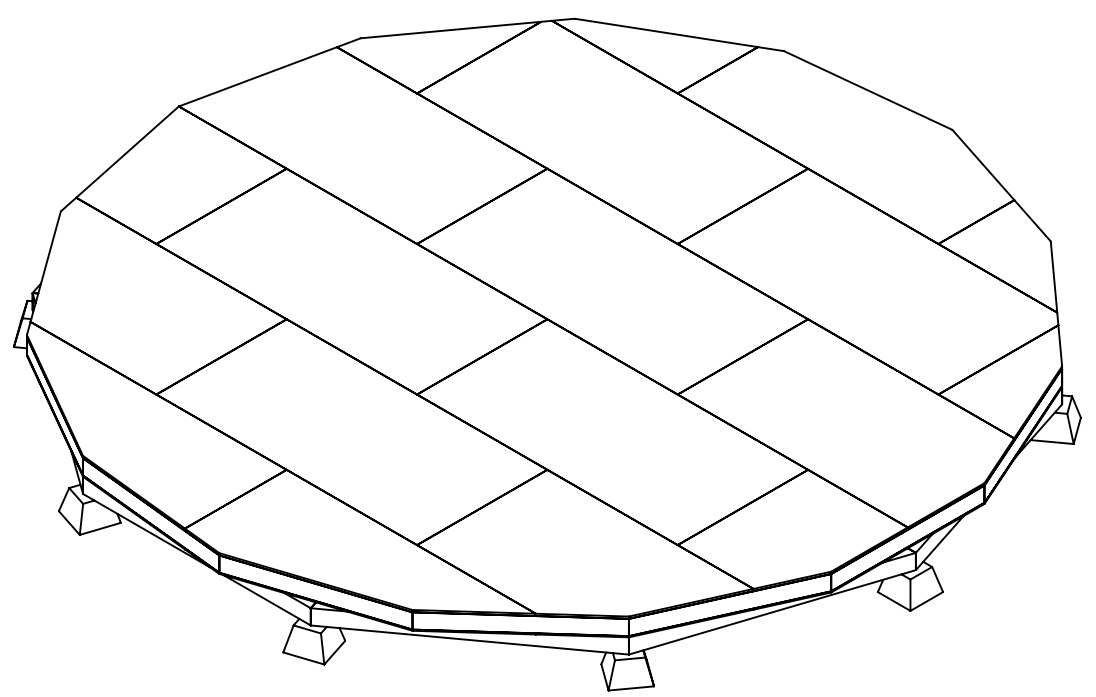
BUILDING LOCATION
PLAN - ENLARGED

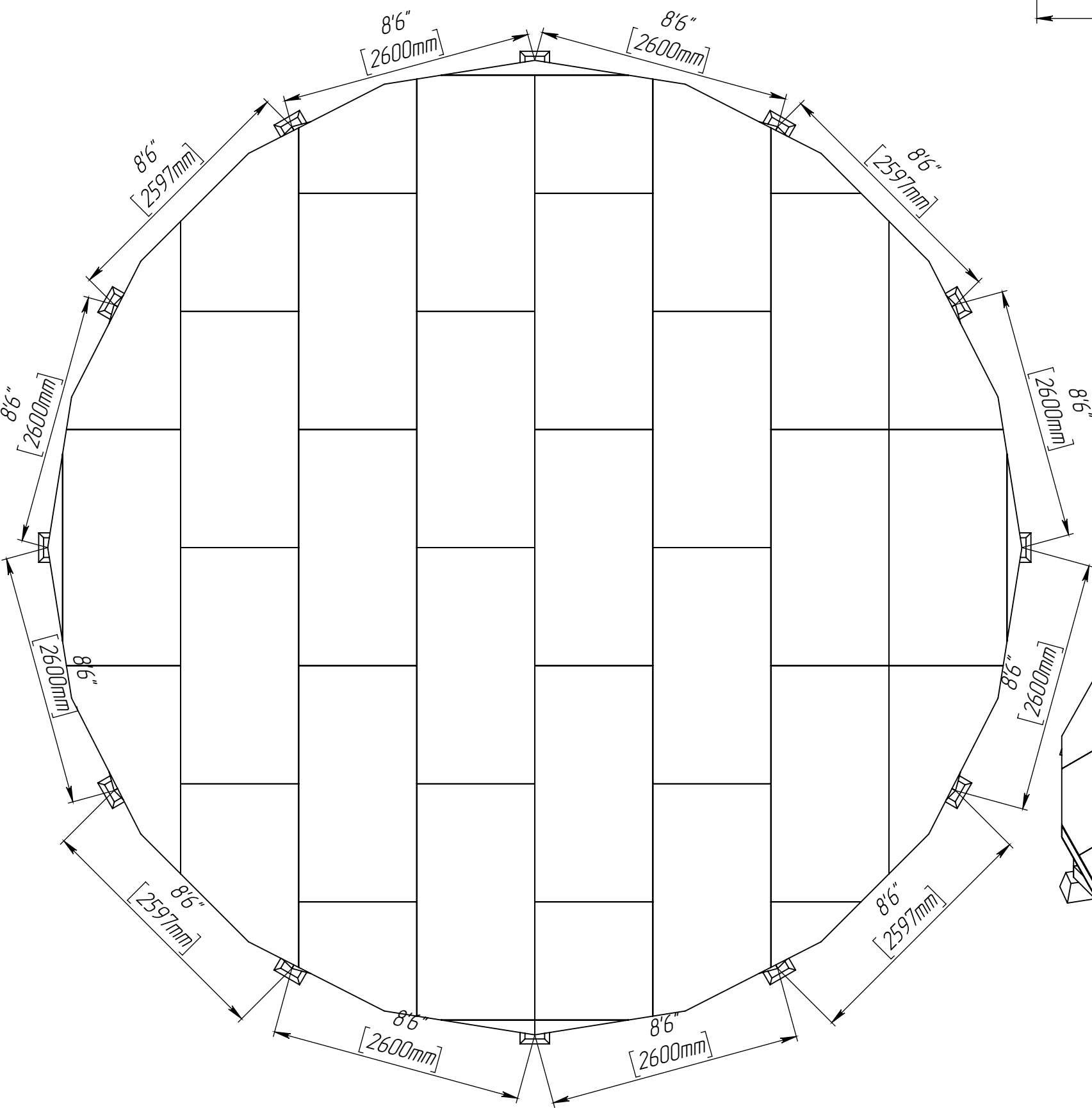
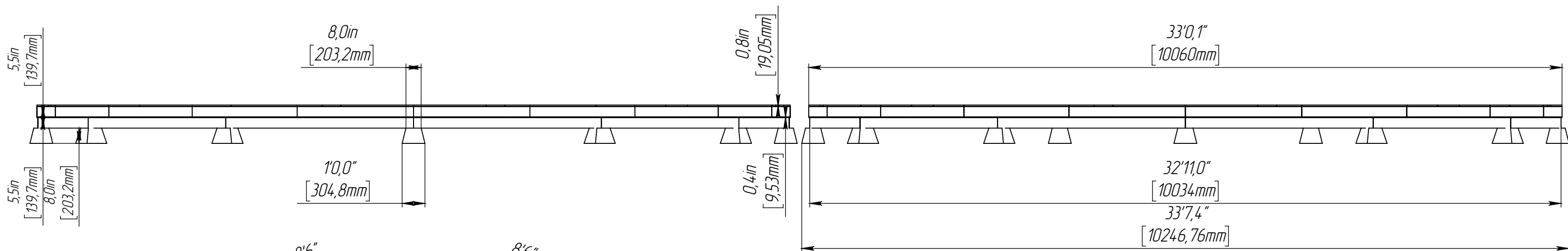
DRAWING NUMBER

1.5

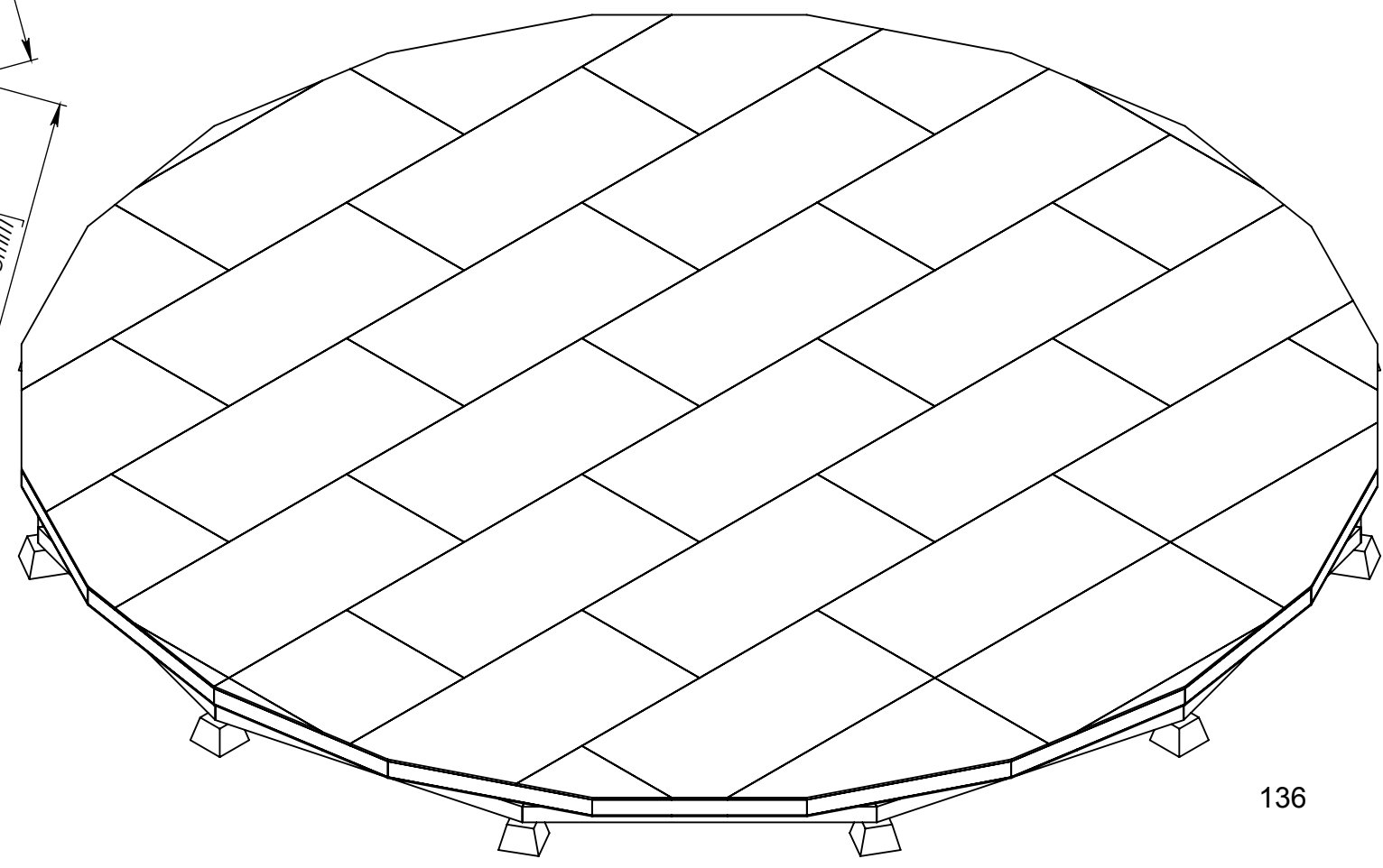


Top and Bottom Plywood Layout





Assembly Layout





Streetscape view of the proposed from the Blackhead Road property frontage
(Driving lane, lighting at roadway, signage and landscaping are to meet City requirements)



Streetscape view of the existing property from the Blackhead Road property frontage
(Photograph of the property taken October 2022)

**DESCRIPTION
CIVIC NO. 1274
BLACKHEAD ROAD**

ALL THAT piece or parcel of land situate and being on the Southeast side of Blackhead Road, in the City of St. John's, in the Province of Newfoundland & Labrador, Canada, bounded and abutted as follows, that is to say: Beginning at a point, the said point having T.M. Grid Co-ordinates (NAD 83) of N 5,263,866.456 m and E 329,819.768 m with reference to Monument No. 026525 with Co-ordinates of N 5,263,624.202 m and E 329,483.565 m;

THENCE running by land of BGW Holdings Ltd. and Crown Land South fifty six degrees zero nine minutes fifty six seconds East one hundred and fifty one decimal seven nine zero metres;

THENCE turning and running by Crown Land South twenty six degrees fifty seven minutes zero four seconds West two hundred and twenty five decimal eight five five metres;

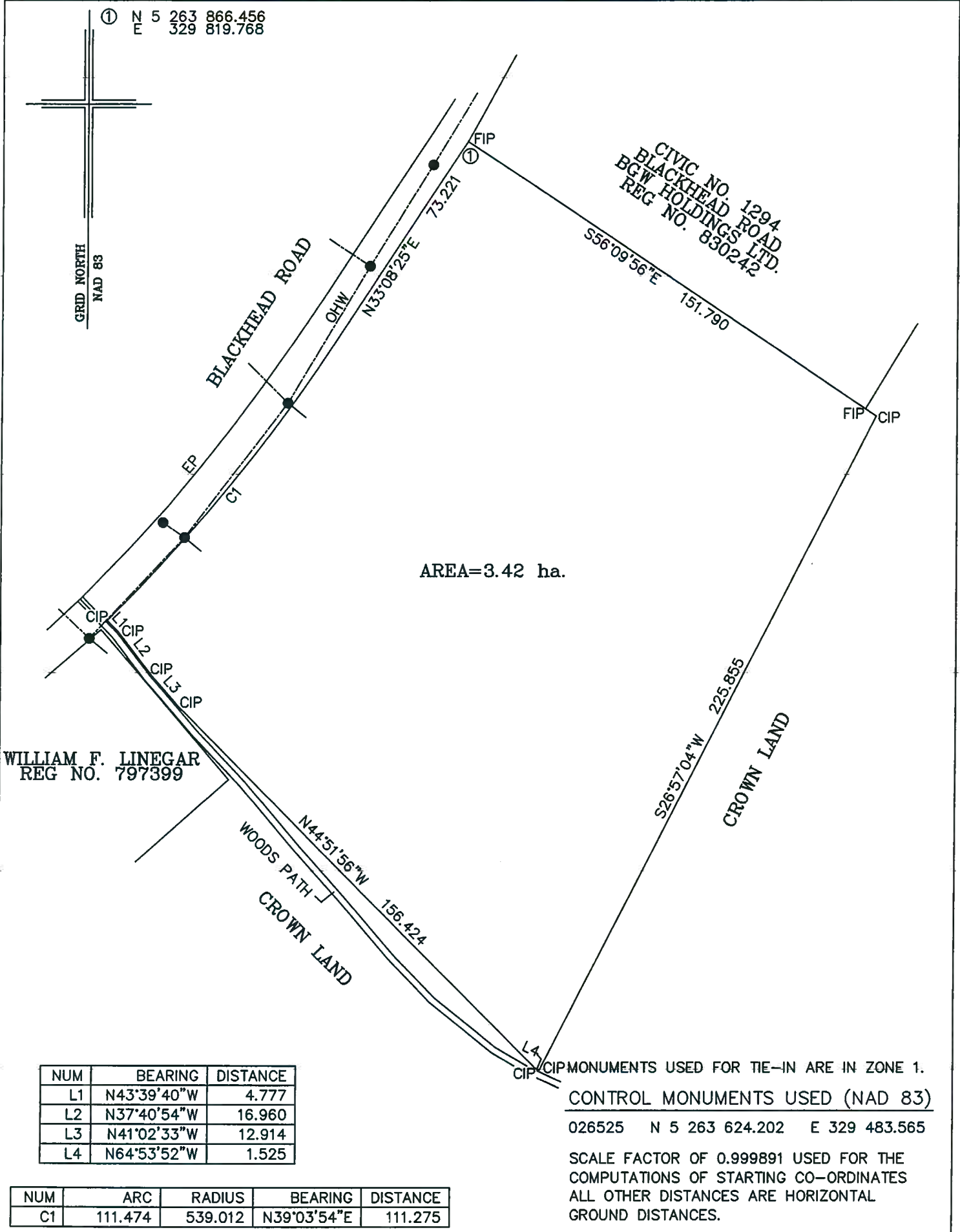
THENCE turning and running by Crown Land and Woods Path North sixty four degrees fifty three minutes fifty two seconds West one decimal five two five metres; **THENCE** North forty four degrees fifty one minutes fifty six seconds West one hundred and fifty six decimal four two four metres; **THENCE** North forty one degrees zero two minutes thirty three seconds West twelve decimal nine one four metres; **THENCE** North thirty seven degrees forty minutes fifty four seconds West sixteen decimal nine six zero metres; **THENCE** North forty three degrees thirty nine minutes forty seconds West four decimal seven seven seven metres;

THENCE turning and running along the Southeastern limits of Blackhead Road along the arc of a curve having a chord bearing and distance of North thirty nine degrees zero three minutes fifty four seconds East one hundred and eleven decimal two seven five metres and a radius of 539.012 metres; **THENCE** North thirty three degrees zero eight minutes twenty five seconds East seventy three decimal two two one metres more or less, to the point of beginning and containing in all an area of 3.42 hectares as more particularly described on the plan hereto annexed.

ALL bearings are referred to Grid North.

Date: September, 2018

Job No. 18-529



NUM	BEARING	DISTANCE
L1	N43°39'40"W	4.777
L2	N37°40'54"W	16.960
L3	N41°02'33"W	12.914
L4	N64°53'52"W	1.525

NUM	ARC	RADIUS	BEARING	DISTANCE
C1	111.474	539.012	N39°03'54"E	111.275

CIP MONUMENTS USED FOR TIE-IN ARE IN ZONE 1.

CONTROL MONUMENTS USED (NAD 83)

026525 N 5 263 624.202 E 329 483.565

SCALE FACTOR OF 0.999891 USED FOR THE
COMPUTATIONS OF STARTING CO-ORDINATES
ALL OTHER DISTANCES ARE HORIZONTAL
GROUND DISTANCES.



PROPERTY SURVEY

CIVIC NO. 1274
BLACKHEAD ROAD
ST. JOHN'S, NL

WILLIAM DOYLE & ASSOCIATES LTD.
Newfoundland Land Surveyors

SCALE: 1:1500

JOB NO. 18-529

DATE: SEPTEMBER, 2018

DRAWN BY: R.S.

APPENDIX E- EXTERIOR EQUIPMENT AND LIGHTING

LEGEND:

P

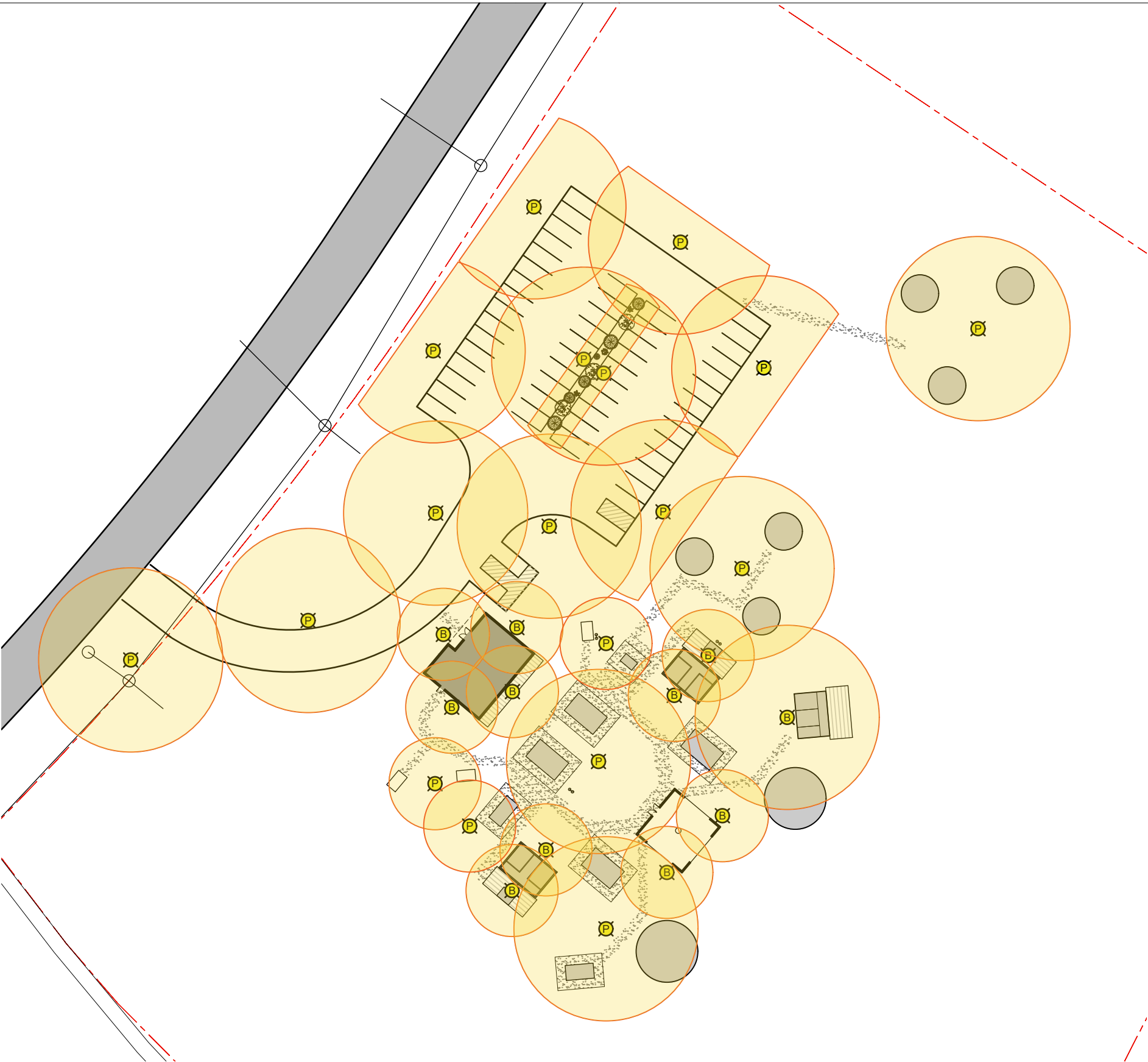
POLE MOUNTED LIGHT

B

BUILDING MOUNTED LIGHT

APPROX. EXTENT OF LIGHT FROM FIXTURE
(SHADOWING BY PROPOSED BUILDINGS
IS NOT REPRESENTED IN DRAWING)

- GENERAL NOTES:
- A. ACTUAL FIXTURE TYPES AND POLE TYPES/HEIGHTS WILL VARY BASED ON SPECIFIC APPLICATIONS AND REQUIREMENTS.
 - B. ALL FIXTURE TYPES ARE TO BE FULL CUTOFF TYPES TO PREVENT LIGHTING SPILL AND TO BE DARK-SKY COMPLIANT.
 - C. FOOTLIGHTING FIXTURE LOCATIONS OF PATHWAYS NOT SHOWN.
 - D. ITEMS SHOWN ARE SCHEMATIC ONLY.
 - E. POLE MOUNTED STREETLIGHT MAY BE REQUIRED NEAR BLACKHEAD ROAD FOR SAFETY (SHOWN IN DRAWING).



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PROJECT TITLE

ICEAVIK SPA

1274 Blackhead Road
St. John's, NL

DRAWING TITLE

SCHEMATIC LIGHTING
PLAN

DRAWING NUMBER

1.6

APPENDIX F- LANDSCAPING AND BUFFERING

SHEET KEY NOTES:

- 1. SOFTSCAPING
- 2. HARDSCAPING/PATHWAYS
- 3. NATURAL ROCK FORMATIONS
- 4. PARKING
- 5. NATURAL UNTOUCHED

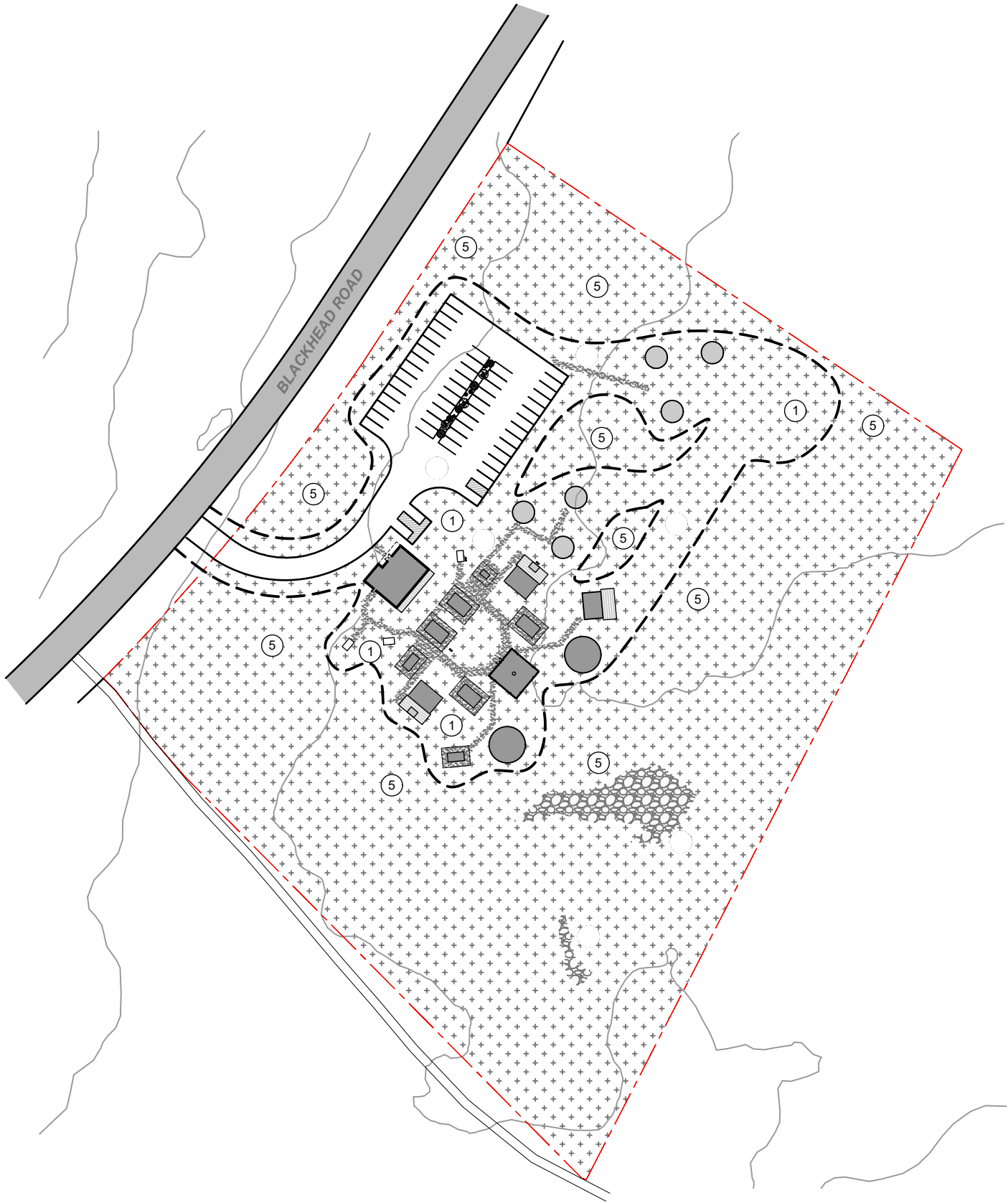
LEGEND:

- SOFTSCAPING/NATURAL
- HARDSCAPING
- NATURAL ROCK FORMATION
- APPROXIMATE BOUNDARY BETWEEN NATURAL/UNTOUCHED AND LANDSCAPED

GENERAL NOTES:

- A. SOFTSCAPING TO INCLUDE NEW/REINSTATED LANDSCAPING PLUS EXISTING NATURAL CONDITIONS.
- B. HARDSCAPING TO INCLUDE COMPACTED GRAVEL AND LIMITED LANDSCAPING PAVERS.

TOTAL PROPERTY AREA:	34,200sqm
SOFTSCAPING:	30,017sqm (87.8%)
HARDSCAPING:	693sqm (2%)
TOTAL LANDSCAPING (SOFT/HARD):	30,710sqm (89.8%)



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PROJECT TITLE

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1274 Blackhead Road
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DRAWING TITLE

SCHEMATIC
LANDSCAPING PLAN

DRAWING NUMBER

1.7

APPENDIX G- SNOW CLEARING AND STORAGE

SHEET KEY NOTES:

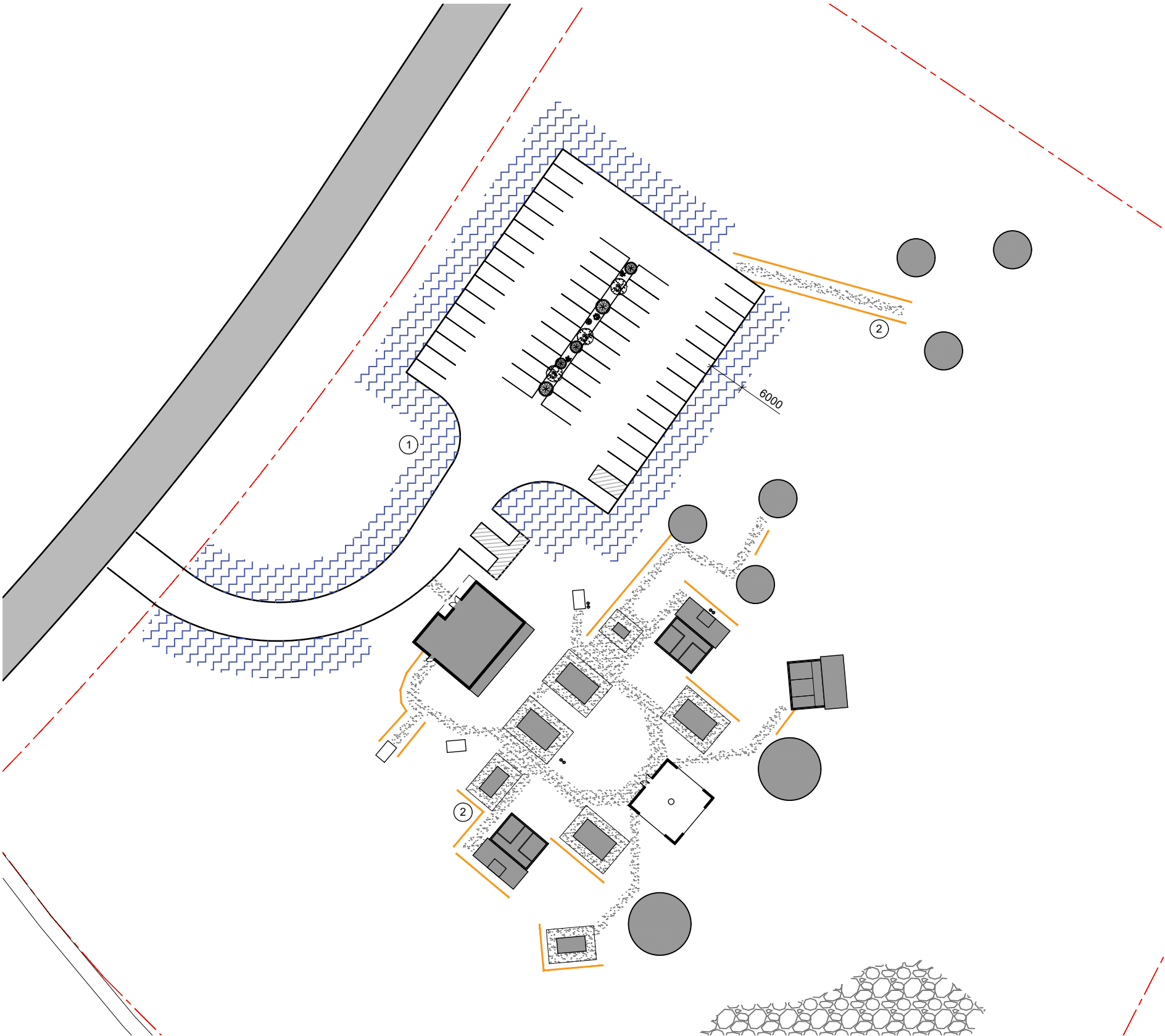
- 1. BULK SNOW STORAGE
- 2. MINOR SNOW STORAGE (TYPICAL)

LEGEND:

- BULK SNOW STORAGE
- MINOR SNOW STORAGE

GENERAL NOTES:

- A. BULK SNOW STORAGE SHOWN AT 6m WIDE.
- B. MINOR SNOW STORAGE LIMITED TO AREAS ADJACENT TO PATHWAYS AND OTHER HARDSCAPING.



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PROJECT TITLE

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St. John's, NL

DRAWING TITLE

SNOW STORAGE PLAN

DRAWING NUMBER

1.8

SNOW STORAGE PLAN

SCALE : 1:375 (1:750 when printed 11X17)

APPENDIX H- OFF STREET PARKING AND SITE ACCESS

SHEET KEY NOTES:

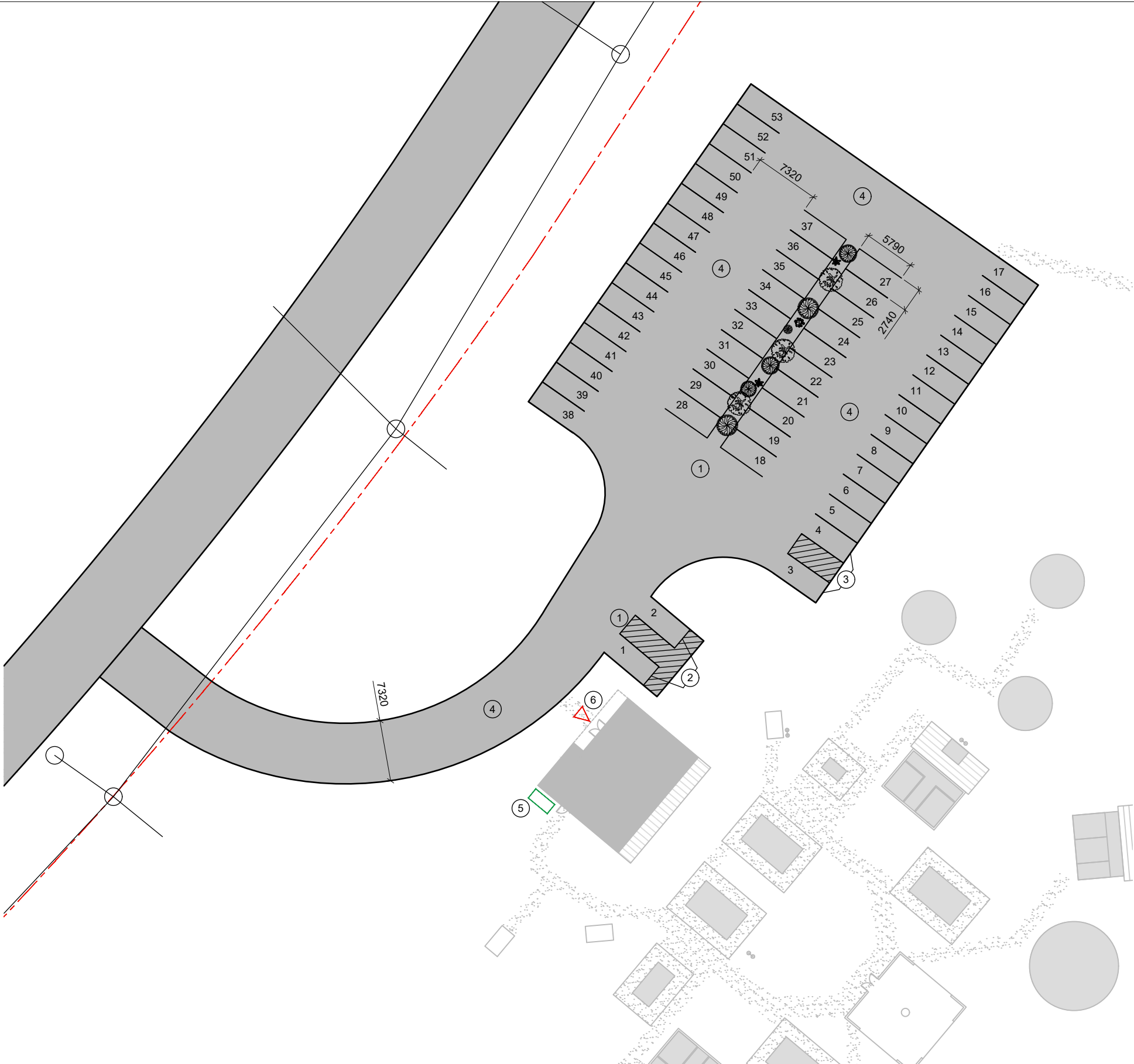
1. PARKING (53 TOTAL STALLS INCLUDING 4 ACCESSIBLE)
2. ACCESSIBLE VAN PARKING (2)
3. ACCESSIBLE PARKING (2)
4. 2-WAY DRIVING LANE
5. BICYCLE RACK (6 BICYCLES)
6. MAIN BUILDING ENTRANCE (ARROW)

GENERAL NOTES:

- A. ALL PARKING LOT DESIGN TO MEET REQUIREMENT OF CITY OF ST. JOHN'S STANDARDS PLUS ACCESSIBILITY REGULATIONS.

BASIC STALLS: 49 STALLS
STANDARD-SIZE ACCESSIBLE STALLS: 2 STALLS
VAN-SIZE ACCESSIBLE STALLS: 2 STALLS
TOTAL MOTORIZED VEHICLE PARKING: 53 STALLS

BICYCLE SPACES: 6



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ST. JOHN'S, NL
A1C 3N2

MARK WHALEN 709.693.3652
mark@hwarchitecture.ca

PROFESSIONAL STAMP AND PERMIT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

REVISIONS

NO.	YY/MM/DD	DESCRIPTION
1	23/02/27	ISSUED FOR LUAR
0	22/10/17	ISSUED FOR LUAR

DRAWN BY:

PROJECT #: 3100-01

1. DO NOT SCALE FROM THIS DRAWING.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO PROCEEDING WITH ANY PORTION OF THIS WORK.
4. CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND CODES INCLUDING, BUT NOT LIMITED TO, THE NATIONAL BUILDING CODE OF CANADA.
5. DIMENSIONS ARE SHOWN TO FACE / CORNERS AND CENTRE OF PARTITIONS. SEE PLANS FOR DIMENSION REFERENCE POINTS.

PROJECT TITLE

ICEAVIK SPA

1274 Blackhead Road
St. John's, NL

DRAWING TITLE

PARKING LAYOUT PLAN

DRAWING NUMBER

1.9

1 PARKING LAYOUT PLAN

1.9 SCALE : 1:250 (1:500 when printed 11X17)

APPENDIX I- SITE SERVICING



Blivet Marketing Services (North America) Ltd.

WASTE WATER TREATMENT



We Ship Worldwide

www.bmsna.com

BMS Blivet™ - How It Works

The BMS Blivet™ is an "all-in-one" packaged sewage treatment plant consisting of primary settlement, sludge storage, aerobic treatment and final settlement

Domestic raw sewage enters the BMS Blivet™ and is directed to the bottom of the unit by a baffle (wall) that is full tank width, top edge of the baffle being level with the top elevation or crown of the inlet pipe and extending down to approximately 400mm above the tank bottom.

The solids settle, allowing only the supernatant liquid to rise hydraulically through parallel or lamella plates; passes over a notched weir into a trough and enter the BMS Aerotor™. The lamella plates are sloped an optimum 60 degree angle and placed at 50mm spacing to reject the passage of any possible floatables from entering the BMS Aerotor™ unit. The solids settle to the bottom of the tank as sludge, to be removed latter for disposal.

Microorganisms, inherent in all sewage, attach themselves to the media of the BMS Aerotor™, which is a rotating fixed film reactor, and survive by consuming the "nutrients" suspended in the supernatant liquid. The active aeration process of the rotating drums present the biomass alternately to the air and into the liquid, which enhances the efficiency of this bio-filter.

The first section of the BMS Aerotor™ is effectively a pump, as the liquid enters through holes in the outer edge of the rotor, and carried by an intricate patented design of internal vanes, exits at the opposite side of the rotor at the center. This effectively raises the liquid level by 375mm, which allows re-circulation by gravity from the final rotor. The internal vanes of the media are constantly being scoured by the speed of rotation and the trapped air bubbles. This self-cleansing velocity of 6 rpm maintains a thin homogeneous biomass growth, preventing excess growth, thereby contributing to process efficiency. The flow pattern induces all the effluent to make contact with the media and biomass before passing to the next stage.

As the liquid exits the BMS Aerotor™, it is routed to the Final Settlement Area. This area allows for the settlement of small particles. The liquid hits a baffle and deflects to the bottom of the Final Settlement Area where, similar to the Primary Settle Area, the liquid must travel upwards through a set of lamella plates. The plates in this area are placed at 25mm spacing, as smaller particles require settling. A sludge pump, operated by a timer, is located in this area to remove the small amount of accumulated particles to the main sludge storage area. The treated effluent passes over a notched weir into a trough and exits the unit.

Final effluent quality from normal strength influent raw sewage of 250mg/litre Biochemical Oxygen Demand (BOD) and 300mg/litre Total Suspended Solids (TSS), will meet or exceed the Canadian Environmental Regulations for discharge of less than 25mg/litre BOD and less than 25mg/litre TSS.

Summary of Pre and Post Development Conditions

Project: 1274 Blackhead Road - Iceavik Spa

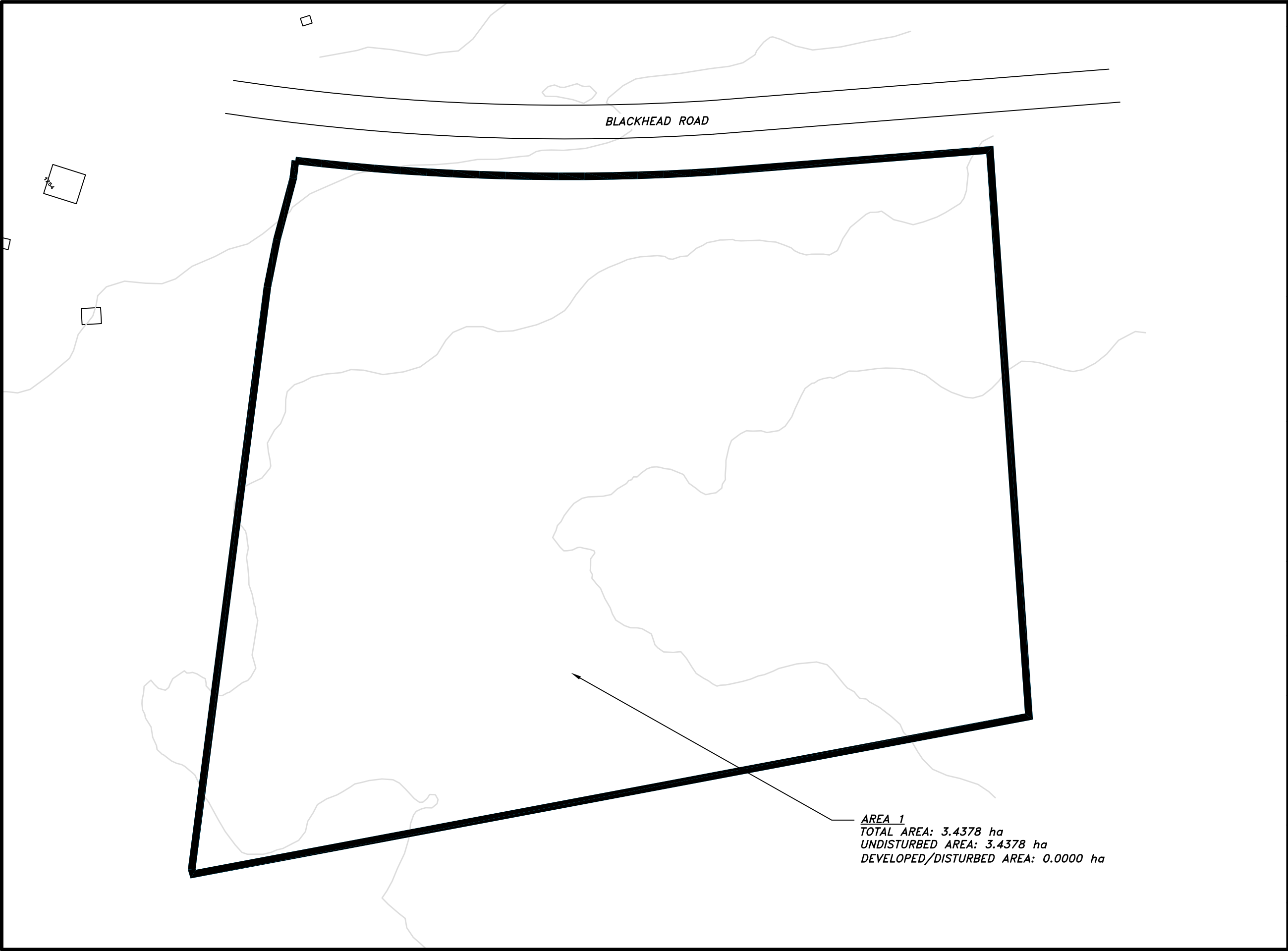
Completed by: Stephen Power, P.Eng.

Date: 28-10-2022



100 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	434	434	561	561	2049	2049	2076	2076
2 hr	504	504	565	565	2708	2708	2735	2735
6 hr	410	410	432	432	4221	4221	4248	4248
12 hr	379	379	388	388	5691	5691	5718	5718
24 hr	196	196	197	197	6802	6802	6829	6829

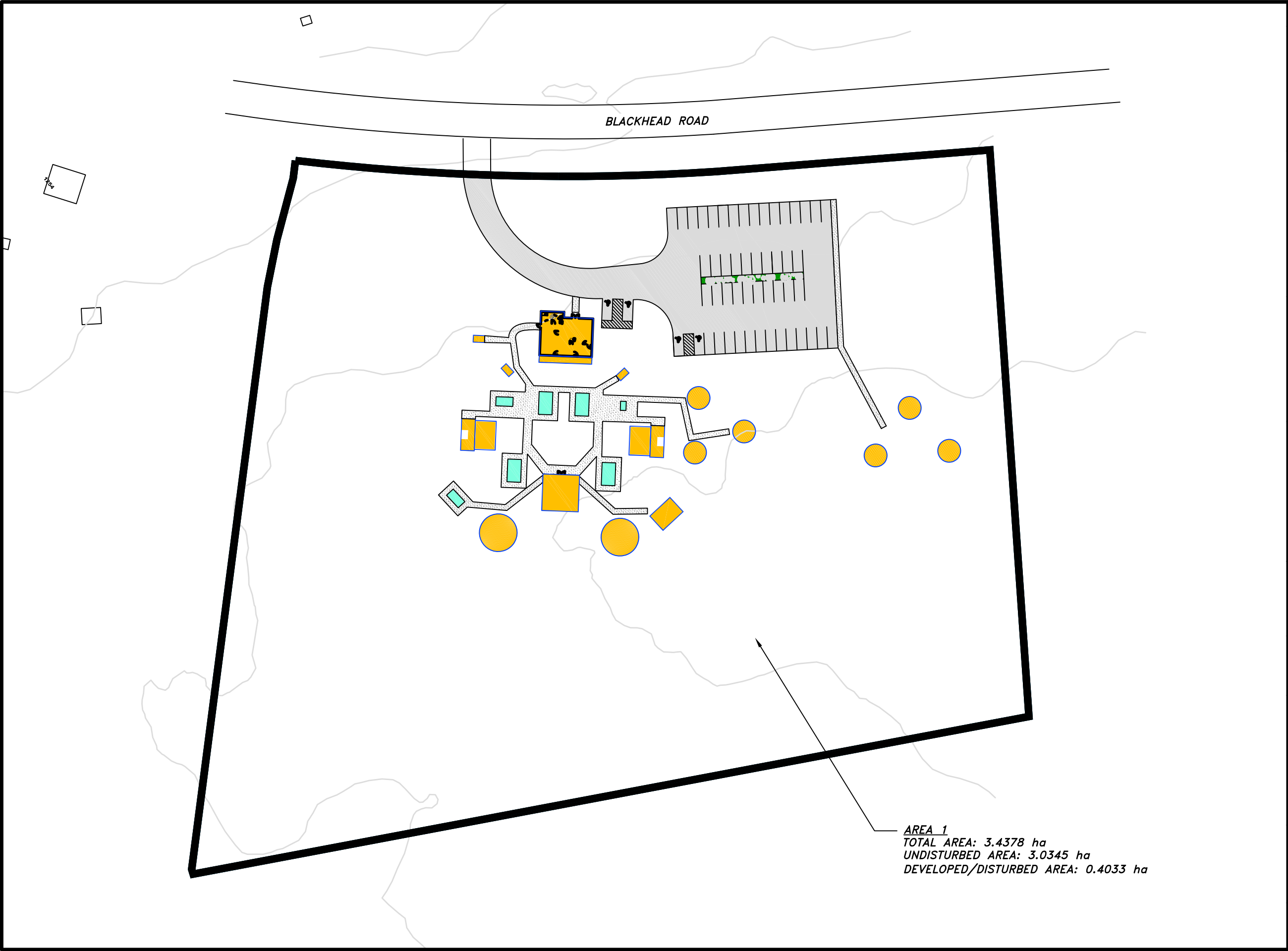
50 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	368	368	481	481	1826	1826	1853	1853
2 hr	434	434	491	491	2416	2416	2443	2443
6 hr	362	362	384	384	3792	3792	3819	3819
12 hr	339	339	348	348	5104	5104	5130	5130
24 hr	175	175	176	176	6057	6057	6083	6083

25 Year								
Duration	Runoff (l/s)				Volume (m ³)			
	Pre Development		Post Development		Pre Development		Post Development	
	Outfall	Total	Outfall	Total	Outfall	Total	Outfall	Total
1 hr	305	305	404	404	1596	1596	1623	1623
2 hr	366	366	419	419	2125	2125	2151	2151
6 hr	316	316	336	336	3363	3363	3390	3390
12 hr	297	297	306	306	4513	4513	4540	4540
24 hr	154	154	155	155	5320	5320	5346	5346



AREA 1
TOTAL AREA: 3.4378 ha
UNDISTURBED AREA: 3.4378 ha
DEVELOPED/DISTURBED AREA: 0.0000 ha

NOTES		
1.	ISSUED FOR REVIEW	28/10/22
No.	DESCRIPTION	dd/mm/yy
PERMIT		
<div><div>PROVINCE OF NEWFOUNDLAND AND LABRADOR</div><div> ENGINEERING PERMIT F0249</div><div>MAE DESIGN LIMITED</div><div>MRLC NO: 27874</div><div>Signature or Member Number (Member-in-Charge)</div></div>		
STAMP		
<div><div></div><div></div></div>		
PRIME CONSULTANT		
TEL (709) 834-1554 FAX (709) 834-1558		
DRAWN BY: S.P. DATE: OCTOBER 2022		
CHECKED BY: S.P. DATE: OCTOBER 2022		
APPROVED BY: S.P. DATE: OCTOBER 2022		
SCALE: 1:500		
<div><div><div><div>A</div><div>B</div><div>C</div></div></div><div><div>A</div><div>B</div><div>C</div></div><div>DETAIL NO. DRAWING NO. WHERE DETAIL REQUIRED DRAWING NO. WHERE DETAILED</div></div>		
PROJECT		
ICEAVIK SPA		
1274 BLACKHEAD ROAD		
CITY OF ST. JOHN'S NEWFOUNDLAND		
DRAWING TITLE		
PRE DEVELOPMENT STORM AREAS		
PROJECT No.		DRAWING No.
2022.167		STM-1 SHEET 1 OF 2



AREA 1
TOTAL AREA: 3.4378 ha
UNDISTURBED AREA: 3.0345 ha
DEVELOPED/DISTURBED AREA: 0.4033 ha

NOTES		
1.	ISSUED FOR REVIEW	28/10/22
No.	DESCRIPTION	dd/mm/yy
PERMIT		
<div>PROVINCE OF NEWFOUNDLAND AND LABRADOR ENGINEERING PERMIT P0249 MAE DESIGN LIMITED MRLC NO: 27874 Signature or Member Number (Member-in-Charge)</div>		
STAMP		
<div>REGISTERED PROFESSIONAL ENGINEER P.E.G.A. Newfoundland and Labrador STEPHEN POWER SIGNATURE 28-10-2022 DATE NEWFOUNDLAND & LABRADOR</div>		
PRIME CONSULTANT		
TEL (709) 834-1554		FAX (709) 834-1558
DRAWN BY: S.P.		DATE: OCTOBER 2022
CHECKED BY: S.P.		DATE: OCTOBER 2022
APPROVED BY: S.P.		DATE: OCTOBER 2022
SCALE: 1:500		
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PROJECT		
ICEAVIK SPA 1274 BLACKHEAD ROAD		
CITY OF ST. JOHN'S		NEWFOUNDLAND
DRAWING TITLE		
POST DEVELOPMENT STORM AREAS		
PROJECT No.		DRAWING No.
2022.167		STM-2 SHEET 2 OF 2

END OF LUR

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+ consultant, product supplier, client supplied images

Christine R. Carter

From: Karen Chafe on behalf of CityClerk
Sent: Wednesday, June 14, 2023 10:27 AM
To: Christine R. Carter
Subject: FW: Nordic Spa - 1274 Blackhead Road

FYI

From: Ken O'Brien <kobrien@stjohns.ca>
Sent: Wednesday, June 14, 2023 8:13 AM
To: [REDACTED] Ann-Marie Cashin <acashin@stjohns.ca>; Ian Froude <ifroude@stjohns.ca>; Carl Ridgeley <cridgeley@stjohns.ca>
Cc: CityClerk <cityclerk@stjohns.ca>
Subject: RE: Nordic Spa - 1274 Blackhead Road

[REDACTED], we certainly heard the neighbours' concerns at the public meeting last week. Our process required the applicant to prepare a land-use report and also speak with neighbours before we organized the City's meeting.

Thinking about the idea that the City "chose the location to get this approved", that is not the case. The applicant approached us with her idea, explored the many aspects of it, then chose to formally apply and start the process.

In the end, people are free to apply for developments. If they meet the regulations, they can be approved. If they don't, the City can consider whether the idea is a good one that makes sense, and whether changing the regulations to accommodate it is reasonable. In the end, Council decides.

Ken O'Brien

Ken O'Brien, MCIP - Chief Municipal Planner
City of St. John's – Planning, Engineering and Regulatory Services
John J. Murphy Building (City Hall Annex), 4th floor – enter via City Hall main entrance
Mail: PO Box 908, St. John's NL Canada A1C 5M2
Phone 709-576-6121 Email kobrien@stjohns.ca www.stjohns.ca

From: [REDACTED]
Sent: Wednesday, June 14, 2023 7:31 AM
To: Ken O'Brien <kobrien@stjohns.ca>; Ann-Marie Cashin <acashin@stjohns.ca>; Ian Froude <ifroude@stjohns.ca>; Carl Ridgeley <cridgeley@stjohns.ca>
Subject: (EXT) RE: Nordic Spa - 1274 Blackhead Road

Good Morning Councillors;

As you are aware we had the public meeting in relation to this matter and quite frankly it has left us all with more questions and red flags. She was on the radio stating she will now have fire pits and a “bucket” rinse show. Obviously, she knew all this information and CHOSE to hid it and I think the way this meeting went it shows how unprepared she is for this venture.

She now has this as a commercial venture and openly stated that the City was the one that chose the location to get this approved.

Tom Osbourne has been in contact with some of the residents and he intends to reach out.

I feel all of Council should come to the location of 1274 Blackhead Road and take a look at what this project site looks like.

[REDACTED]

Sent: Wednesday, May 31, 2023 10:28 AM

To: 'kobrien@stjohns.ca' <kobrien@stjohns.ca>; 'acashin@stjohns.ca' <acashin@stjohns.ca>; 'ifroude@stjohns.ca' <ifroude@stjohns.ca>; 'cridgeley@stjohns.ca' <cridgeley@stjohns.ca>

Subject: Nordic Spa - 1274 Blackhead Road

Good Morning Councillors:

My name is [REDACTED] and I am one of many citizens of the Blackhead Road area that is not for this Spa.

I reside at [REDACTED] purposed location for this business. I moved to this area of town to get away from all the city feeling! Adding this to our area is not something I **DO NOT** agree with, I don't want to see a business [REDACTED]

We had the campground turned down; I feel that the fire risk is a huge problem. We live in the middle of the woods and have no access to water. The closest fire hydrant is 14 kilometers round trip and the same for a water source. Fire can spread quickly and we can lose everything we own.

We have no cell phone service in our area; what happens when someone gets hurt and can't get a landline? I know a few incidents that have happened where they had to drive away from the area to get service to call for help!

We do not have city water and are all on the same water table; is she going to be responsible for any issue that occurs when the properties around her go dry?

They want to get a license to sell alcohol; that seems like a total disaster. The owner has offered us a “resident discount” to her spa, that seems like she trying to bribe us into this. She has also told us that City Council has told her to add the sleeping domes to make it more of a tourism attraction.

Thank you
[REDACTED]

Stacey Baird

From: [REDACTED]
Sent: Monday, June 12, 2023 12:33 PM
To: CityClerk; cridgeley@st.johns.ca; Danny Breen; Sandy Hickman
Subject: (EXT) Application for development 1294 Blackhead village Rd

I am very concerned about this proposal and against it.

Item 1 Lack of infrastructure ie water,sewer,fire protection.

Item 2.Loopehole for zoning.Looks like we are going through back door.Doing a development like this in residential area with no services makes no sense.

I live at [REDACTED] if a fire starts we have no way out only swim.Who takes responsibility for lose of life, councillors or developers?

Item 3.Looks like this will become party central camp grounds with a bar.Totally wrong location for this kind of development.

Item4.Has planning and development looked into flood plain, watershed, wildlife, fisheries with brooks and gullies with trout in them etc.

Item 5 Has planning and development done any kind of traffic survey on this two lane road.We live in second busiest cul-de-sac in St.Johns.Signal Hill is number 1

I would like some kind of answers.

Thank you.

I am setting up meeting with media to have a look.

Response to the Application for Nordic Spa with Overnight Accommodations at 1274 Blackhead Road

This letter is to oppose the commercial service spa development with overnight accommodations in the rural residential community of Blackhead. I have many concerns, including the effect on our water supply, fire hazard, impaired driving and more. We are a special little community on the outskirts of the city that we are passionate about protecting.

Water Supply

As you are aware, homes in Blackhead rely on wells for water. We accepted the fact that we built in a community that does not have municipal water, and in turn have spent thousands upon thousands of dollars to have our well drilled. A major concern for my family is the strain a large facility of this nature would have on our water supply. The proponent, Rebecca Bezanson, witnessed the precautions we take first hand on the day that she did her door-to-door canvassing. We had been outside working in the garden when she came to our property and our timer alarmed. My husband rushed to turn it off. Ms. Bezanson recalled this during the meeting. We then let the water set for an hour for the well to rest and recharge, before turning it on again. We know that just because we have an artesian well that we do not have endless supply of water. In today's climate, you cannot take water for granted. During the public meeting I expressed concern about the estimated water use listed in the Land Use Report, but it appeared the proponent and her architecture weren't completely prepared to answer some of basic water use questions. In the report there was an obvious math mistake on the overall usage that does lead to the question, 'how many other mistakes are in there?' The architecture also told that their water comps were based on public swimming pools instead of an existing Nordic spa. In recent weeks I've researched Nordic spas across the country and learned that they have hygiene policies in place that includes showering – often. Some of the information I gathered conflicted with Ms. Bezanson's personal experience. I will include some of the information I found at the end of this document for you to view. When you look at the LUR take note that 5 showers are in the basement of the main building where 200 people in the course of a day will enter the spa and will shower, or at the very least rinse off. Most of those 200 people will then shower upon exit, washing the chlorine/salt out of their hair (in most spas they include shower gel, shampoo and conditioner in the shower stalls). Also note that the salt scrub shower is 9'x6' and will likely have multiple shower heads in an open area for multiple people to shower the salt scrub off simultaneously, as it is in existing Nordic spas across Canada. Think of 200 people going through that relaxing experience, taking their time showering off the salt scrub and how much more water that would be used than in a typical public pool that they have took their shower comps from. Even with ultralow flow shower heads, the potential for water usage with just these activities could easily exceed the 75L listed in the LUR and we haven't even considered toilet flushing, hand washing, bathtub filling or the water usage of the 12 employees. No one has even refilled their reusable water bottle yet either. The architecture, at one point during the meeting, referenced that they *could* have well(s), as in multiple drilled wells! The LUR states that the property will be 'sparsely developed therefore providing low intensity of water use considering the property size'. When questioned, the architect suggested that 16 homes could fit on that property, but the

community estimate only 4 homes. City staff indicated that a building lot would need to be 45 meters. I will leave it to city planning to elaborate on exactly how many homes they'd expect would fit there, but it certainly would use only a small percentage compared to the amount of water used by 200 people in any one given day. As a community that depends on well water, and with confirmation from the city rep, Ken O'Brien, that there are no plans to run municipal water to Blackhead we are extremely concerned about our water supply if this Nordic was approved. I ask you to strongly consider what your plan would be for the residents of our community if approval was given and we began to experience water problems.

Before moving on, I want to reply to a comment that was made by one of the pro-spa people at the meeting. She referenced people in the community who have pools without knowledge of how those pools are filled. It takes 4-6 WEEKS, sometimes more, and a lot of planning to fill a pool in Blackhead where you can fill a pool in the city in 1-3 days. City folk joke and say 'summer will be over by the time the pools in Blackhead are filled.' It's funny because it's true.

Fire Hazard

You will read a lot about the fire concerns expressed during the public meeting and I 100% agree with it. It is a threat, but I won't rehash it all again. It's scary to think about especially when we see that Canada is officially on fire. I would like to just remind you of the fire in Central Newfoundland last summer when the province experienced one of the worst wild fires in history. You may remember that the town of Harbour Breton was cut off from the rest of the island because of that fire. They were running out of baby formula, water, and other basics. Cougar Helicopter had to fly in those essentials. [REDACTED]

[REDACTED] We don't want to be in that situation, but allowing a facility that has the potential to have 200 people in our wooded area so near our homes leads to an increase risk.

Impaired Driving

The proponent plans on applying for a liquor license, and I do understand that is a provincial application, but the city will ultimately be responsible for ensuring our road is safe from impaired drivers. An individual does not to be visibly drunk in order to be impaired! People will leave the spa after relaxing and a few drinks, possibly impaired, and drive back out over Blackhead Road to go home. We already need to be cautious drivers because we always must be aware of moose on our roadway as well as navigate through thick fog. We currently have little to zero police presence in this area. Does the city have a plan to greatly increase presence/patrol on Blackhead Road if this spa goes ahead and becomes a drinking facility?

Noise

I understand that this spa is being marketed as a quiet, whisper only atmosphere, but if you'd take just a few minutes to research on TripAdvisor you'll find that it doesn't always work out that way. There is much recent negative feedback on existing Nordic spas in Canada that say they weren't expecting it to be loud and crowded. For example, feedback on the Kananaskis Nordic Spa says "there were at least two bachelorette parties happening. If you're looking for a

quiet and peaceful experience this is not the place.” One reply in particular about a noise complaint at Nordik Spa-Nature Chelsea reads “We recommend visiting us on Tuesdays and Wednesdays as they are usually quieter days, with fewer guests on site, and ideal for those seeking more tranquility.” The whisper-only policy is a good intension, but hard to enforce 60+ people at a time when they’re trying to whisper over each other. I won’t bore you with more examples, but TripAdvisor gives a glimpse into the future of what we could possibly be dealing with.

Miscellaneous

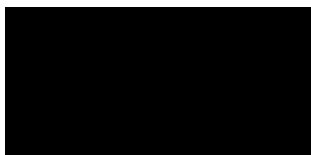
For the record, I wanted to include that the lady who spoke up on the zoom call, to the best of my knowledge, was unknown to the Blackhead community members. We did not have friends attend or lobby on social media for random people to send comments to the city on our behalf. We also did not have people who would stand to potentially benefit financially.

You should also review discussion on the classification of calling this a bed and breakfast when in fact these are camp sites and therefore no different than the campsites that were proposed just 800 meters down the road that was denied for fire safety concerns. Keep in mind, there is no new fire safety infrastructure in the community since that last proposal. You can find more discussion about this recorded during the public meeting.

A safety concern arose as well, when the proponent shared that, despite overnight guests, their property may only be monitored overnight by a monitoring system and not necessarily a person.

Closing

This is more than just a not in my backyard scenario. This is our home and we should have say in how to shape our community for the safety of our families. Giving a tourism exemption to a commercial service spa will just pave the way to other commercial businesses to simply add a few fancy tents and call themselves a hospitality service. I ask the city council members to put our concerns above all else and act on the safety and wellbeing of the people of Blackhead.



3:40



Conduct before visiting.

- ▶ No smoking
- ▶ Outside food & drink
- ▶ Mobile phones and electronics
- ▶ Glass containers
- ▶ Inappropriate behaviour
- ▶ Age of guests

▲ Hygiene

For sanitary purposes, please use a towel when sitting in our dry saunas. We also ask that you shower before and after entering any of our pools.



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vettaspa.com

3:38




RITUAL



NORDIC SPA

- ~ Always wear a bathing suit.
 - ~ Silence your phone—and other devices—and leave them in your locker.
 - ~ Shower with soap before entering the circuit or the private saunas.
 - ~ Bare feet are best in the circuit area. If needed you can borrow a pair of Ritual sandals.
 - ~ Our saunas are social. Talking is fine in the sauna, quiet voices are appreciated.
-
- ~ Rinse off between sauna visit and going into the plunge pool.
 - ~ No physical displays of affection. Ritual is a non-sexual environment.
 - ~ Check with others in the sauna before adding water to the rocks.
 - ~ Drink water! Use the water fountain or bring your own non-glass water bottle.

 ritualnordicspa.com

Stacey Baird

From: [REDACTED]
Sent: Friday, June 9, 2023 8:53 AM
To: CityClerk
Subject: (EXT) Public meeting planned and consultation tool open - Planning application: 1274 Blackhead Rd "Nordic Spa"

To whom it may concern,

I attended the public consultation on June 8 at City Hall concerning the proposed development at 1274 Blackhead Road (Nordic Spa). City staff explained that the consultation was because the City is considering making a text amendment to add a new use (Rural Tourism) to the Discretionary Use category of the Rural Residential Zone to accommodate the spa development.

I am strongly opposed to adding this new category of Rural Tourism to the Rural Residential Zone.

I believe that by adding this category to Rural Residential the City is effectively creating a regulation "loop hole" for development. The Nordic Spa project planned for the 1274 Blackhead Road includes a 53 space parking lot, various spa outbuildings, 196 lockers and various shower facilities, a Bistro, and a planned liquor licence. By any definition, this is a commercial use of the property and city officials at the meeting confirmed for us that this is a commercial use and is considered to be a spa. The proponent Rebcecca Bezanson also said she felt the development is mainly a spa. Normally, this would require that the property be rezoned as commercial for approval.

The proponents added 3 domes for overnight accommodation with a capacity of between 6-12 people. Adding the accommodations means the entire project can be approved under Rural Tourism, providing the City adds this new category to the Rural Residential Zone. The proponent is now pushing the project as a "tourism" project but this is a commercial enterprise. It will be open 12 months of the year and will serve local people as much as tourists. There will not be many tourists at this facility from October to April. This is a loop hole and is completely unacceptable.

Considering Discretionary Use in a Rural Residential Zone, I feel that the term Rural Tourism is not being interpreted correctly if it is applied to this project. I feel that the term "Rural Tourism" is meant to apply to small enterprises that will not typically alter the main use of the zone (which is residential). For example, if I ran an airbnb or a souvenir shop from my home. I do not believe that Rural Tourism is meant to apply to an operation like a sizeable the Nordic Spa.

Regards,

Stacey Baird

From: [REDACTED]
Sent: Thursday, June 8, 2023 8:48 PM
To: CityClerk
Subject: (EXT) Support for 1274 Blackhead Road

Hello,

I'm emailing to express my support for the Nordic spa application in St. John's, I think it's a fabulous idea and a great location too.

[REDACTED]

Stacey Baird

From: [REDACTED]
Sent: Friday, June 9, 2023 8:18 AM
To: CityClerk
Subject: (EXT) Comments on 1274 Blackhead Road - Iceavik Nordic Spa
Importance: High

Good Day,

I would like to submit the following comments concerning the proposed development at 1274 Blackhead Road (Nordic Spa). I attended the public consultation this evening, June 8 at City Hall. City staff explained that the consultation was because the City is considering adding a new use (Rural Tourism) to the Rural Residential Zone to accommodate the spa development.

I am strongly opposed to adding this new category of Rural Tourism to the Rural Residential Zone. My concerns are explained below:

Commercial Re-Zone vs. New Tourism Added to Rural Residential

I have concerns that by adding this category to Rural Residential the City is effectively creating a regulation “loop hole” for development. The Nordic Spa project planned for the 1274 Blackhead Road includes a 53 space parking lot, various spa outbuildings, 196 lockers and various shower facilities, a Bistro, and a planned liquor licence. By any definition, this is a commercial use of the property. City officials confirmed for us that this is a commercial use and is considered to be spa services. Normally, it would require that the property be rezoned as commercial for approval.

However, the proponents added 3 domes for overnight accommodation. These domes can hold between 6-12 people. Because they added accommodation, the entire project can be approved under Rural Tourism, providing the City adds this new category to the Rural Residential Zone. This is because Rural Tourism is vague and subjective. The proponent is now pushing the project as a “tourism” project but this is a commercial enterprise. It will be open 12 months of the year and will serve local people as much as tourists. There will not be many tourists at this facility from October to April. This is the loop hole.

I asked the proponent Rebecca Bezanson if she considered it mainly a spa development or an accommodation development. She felt it was a spa development. If I decide tomorrow to build a service station on my property at [REDACTED], with 10 service bays (clearly a commercial enterprise) and add 3 bed and breakfast rooms, can I also get approval under Rural Tourism?

Considering Discretionary Use in a Rural Residential Zone, I feel that the term Rural Tourism is not being interpreted correctly if it is applied to this project. I feel that the term “Rural Tourism” is meant to apply to small enterprises that will not typically alter the main use of the zone (which is residential). For example, if I ran a company from my home that offered guided tours of the East Coast Trail for 6 months of the year. Or maybe, if I wanted to convert my garage to a private seasonal attraction for tourists featuring artifacts from the fishery and provided talks to small groups of tourists for fee on how each item was used in the fishery. I do not believe that Rural Tourism is meant to apply to a sizeable operation like the Nordic Spa.

Impact on Water Supply for Homes

Many residents in Blackhead are concerned about the number of artesian wells required to service the Nordic Spa and what impact this will have on water supply to the current homes. Residents have had problems in the past with wells going dry and, this is with one well per home (and not multiple homes on one well).

Fire Safety

This facility will increase the risk of fire for the area. This was one of the main reasons for turning down the campground proposal in 2012. What has changed? Concerns over fire safety. The plan states that there will be gas and wood fireplaces. We need only to watch the news and see the events of these recent weeks in Nova Scotia and Alberta to know what devastation can occur should a fire start. We are also being told that severe forest fire risk will increase in the coming years due to climate change. A concentration of individuals sitting around wood burning devices, consuming alcohol, and smoking throughout the wooded area will increase the risk of fire. Blackhead has one way in and one way out. Should a fire start at this facility, evacuation would be impossible. We have seen on the news how in some communities people barely escape forest fires. How would the residents of Blackhead escape if a fire were to start in the wooded spa area? If this were to occur at a time when tour busses and hundreds of visitors were at Cape Spear, it would compound the problem considerably.

Noise and Congestion

The residents of Blackhead have a right to continue to enjoy their quiet, rural residential neighbourhood. While the proponent envisions a quiet spa area, I see a busy recreational facility. The proponent has claimed that there will be 60 people onsite at a time for 200 people a day. However, the plan for this project has 196 lockers in the change area which certainly suggests more than 60 people at any given time. I also know that when this project was first discussed, there was a site plan showing 53 initial parking spaces and plans for at least 50 additional spaces in the future. This would mean that the site could see 120 visitors at any given time and upwards of 400 per day in the future. It is naïve to think that you will be able to keep these people whispering at a facility where they are having drinks, socializing and relaxing. I remind Council that Blackhead is located in a valley. Sound bounces from one side to the other and travels extensively.

Concerns over Alcohol being served to guests and driving

The proponent has indicated that they will apply for a liquor licence. Residents have concerns with considerable concentrated numbers of individuals consuming alcohol and driving back to St. John's along Blackhead Road. It is rather expensive to get taxis back and forth to Blackhead depending on where in St. John's the ride ends – it can cost \$60 one way.

The residents of Blackhead pay taxes and help the City provide services. We are simply asking to be respected and taken seriously in these concerns.



Christine R. Carter

From: Karen Chafe
Sent: Sunday, June 11, 2023 11:26 AM
To: Christine R. Carter; Ken O'Brien; Andrea Roberts; Ashley Murray; Ann-Marie Cashin; Tracy-Lynn Goosney; Jason Sinyard; Lindsay Lyghtle Brushett; Planning
Subject: FW: (EXT) Blackhead Development Proposal

-----Original Message-----

[REDACTED]
Sent: Friday, June 9, 2023 10:33 PM
To: Karen Chafe <kchafe@stjohns.ca>
Subject: Re: (EXT) Blackhead Development Proposal

Just a few follow up concerns from the proposed Blackhead Spa development meeting on June 8th

With fire still being our main concern. At the meeting the spa developer said she would be upset if a forest fire started and burned all the trees, buildings etc because she would be unable to rebuild the same type of spa atmosphere she had planned.

Rebuilding her (dream project) spa development is the least of my concerns!!! We could have to worry about rebuilding our homes and our lives. We could lose everything like houses, belongings and maybe the life of a family member. That's something I would have to live with for the rest of my life while she cry's about her spa. Unacceptable!!

About 4-5 years ago a backyard fire pit in Blackhead caught fire to the grass. Within seconds it spread out of control and burned acres of land including surrounding trees and bush just feet from peoples homes. This fire also jumped the road. Luckily about 10 members of the community managed to keep it from spreading to far with buckets of water, water hoses and fire extinguishers until the fire trucks showed up. Some of these people actually had the shoes on their feet melt and had minor burns and injuries. Just an example of what can happen so quickly.

With any common sense it's not hard to tell that the 2-3 people who got up and spoke in favour of the spa are somehow connected to the developer. The [REDACTED] saying it could help with mental health and in the same sentence saying leave the decisions up to the professionals. He has no qualifications in mental health but then making claims about mental health. He should be ashamed. Maybe I would take advice from him on a [REDACTED] but not what's best for my mental health. He has no right to make those claims.

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

[REDACTED]

Stacey Baird

From: [REDACTED]
Sent: Thursday, June 8, 2023 3:37 PM
To: CityClerk
Subject: (EXT) 1274 Blackhead Road Objection

This is a beautiful rural area with only a few houses and very small population that many enjoy visiting and hiking and touring. In my opinion a development of the type proposed is much better suited to a different local away from the houses and out of sight and away from people out enjoying nature. Our coastlines and adjacent area especially the ones in close proximity to the St. John's area and north east Avalon are much too prized by locals and tourists alike to be developed as suggested when there are many other more suitable locations for such a development.

Thank you.

[REDACTED]

Stacey Baird

From: [REDACTED]
Sent: Thursday, June 8, 2023 10:46 AM
To: CityClerk
Subject: (EXT) 1274 Blackhead Rd. Application

Hello

I am expressing my opposition to the this proposed development. I am a [REDACTED] Blackhead and I regularly visit and hike in the area. I have reviewed the proposal and I have several concerns as outlined below:

The spa would be located in a rural neighbourhood. The people living there chose to live in a space that does not include businesses, restaurants and parking lots adjacent to their properties. This development would change the environment in which they live and potentially affect the type of living circumstance they have chosen. There are many areas along that road that are not near homes and could be better suited to this business.

The spa can accommodate up to 60 people at a time. I assume up to 60 might not stay all day so there could be up to twice that many people there in a day. This traffic plus the vehicles used to transport staff and supplies could create a high volume of traffic and noise in the area which again affects the neighbours.

The spa will have a bistro and a liquor license. This is a major concern for me. I wonder if the bistro will be open to the public at some point, which will increase the number of people/ cars in the area. Also, people will be consuming alcohol likely on the outdoor decks, in hot tubs, outside the huts etc. This has the potential to lead to a pub/camp like atmosphere which is not a good fit in a rural residential neighbourhood.

It is not clear if smoking is permitted on the property and if so this could be a fire hazard to the surrounding forest and homes in an area where there is no water available to fight a fire.

I ask that you provide my comments to the people involved in making a decision on this application.

Thank you.

Sent from my iPad

Stacey Baird

From: [REDACTED]
Sent: Thursday, June 8, 2023 9:29 AM
To: CityClerk
Subject: (EXT) 1274 Blackhead Rd

Good morning,

I am emailing to provide feedback / comments on the Nordik Spa development for 1274 Blackhead Road.

I wanted to share my support for this project. After living in [REDACTED] which is close to the location in [REDACTED] and in [REDACTED] which has a location I am absolutely of the mind that this is a development that should happen here.

Nordik spa is world class. With the hot and cold plunge pools, sauna, float pools, spa amenities - this is something we need on the island. Pair it with the fabulous views in the location of blackhead road and it is going to be a getaway. I would love to see overnight accommodations in the area eventually as well to truly provide an escape. This spa will attract tourists no different than the other locations do. When I visit those cities it is a must do for me.

This is a wonderful opportunity for the city. Bring in a true retreat.

I can't wait to see this vision come to life.

Thank you for reading.

[REDACTED]
[REDACTED]

[REDACTED]

Stacey Baird

From: [REDACTED]
Sent: Thursday, June 8, 2023 8:41 AM
To: Mayor
Subject: (EXT) Spa development

Hi my name is [REDACTED] live at [REDACTED]. I am writing you today about the spa development at 1274 Blackhead Rd. I have a lot of concerns with this development such as where is all the water coming from? My well went dry twice now so if they are going to use 1 or more wells it's going to lower the water table in my area also there is no cell phone service in the area. They can say that there will be a landline in case of emergency but when alcohol is involved they will go to the nearest house in the middle of the night asking to use the phone and the people of blackhead don't need this. also what about campfires! There is ONLY one way out of blackhead and if a fire starts the people of blackhead might not be able to leave their houses because we had a close call a few years back when a fire started in blackhead and jumped the road with in minutes. the only thing saved us the people of blackhead helped to keep it from spreading till the fire department came. And one of the last things I will mention is there is very popular atv trail next to the development were the people of blackhead depend to cut there wood to heat there homes. This same trail is also a popular hunting trail and fishing trail. So this is passed I think our rights will be taken away so Please vote no to this spa development.. thanks for you time

Stacey Baird

From: [REDACTED]
Sent: Wednesday, June 7, 2023 8:00 AM
To: CityClerk
Subject: (EXT) Comments - 1274 Blackhead Road - Nordik spa

To whom it may concern:

My name is [REDACTED] and I am a resident of St. John's. I am writing I support of the development of a Nordik spa at 1274 Blackhead road. This would be an unique and incredible establishment for our Province. These are few and far between in Canada and have been a sweeping success in Quebec and Nova Scotia. With such a strong focus on building the tourism industry in our province, this type of experience could only have a positive influence and draw people to our beautiful city.

Thanks,

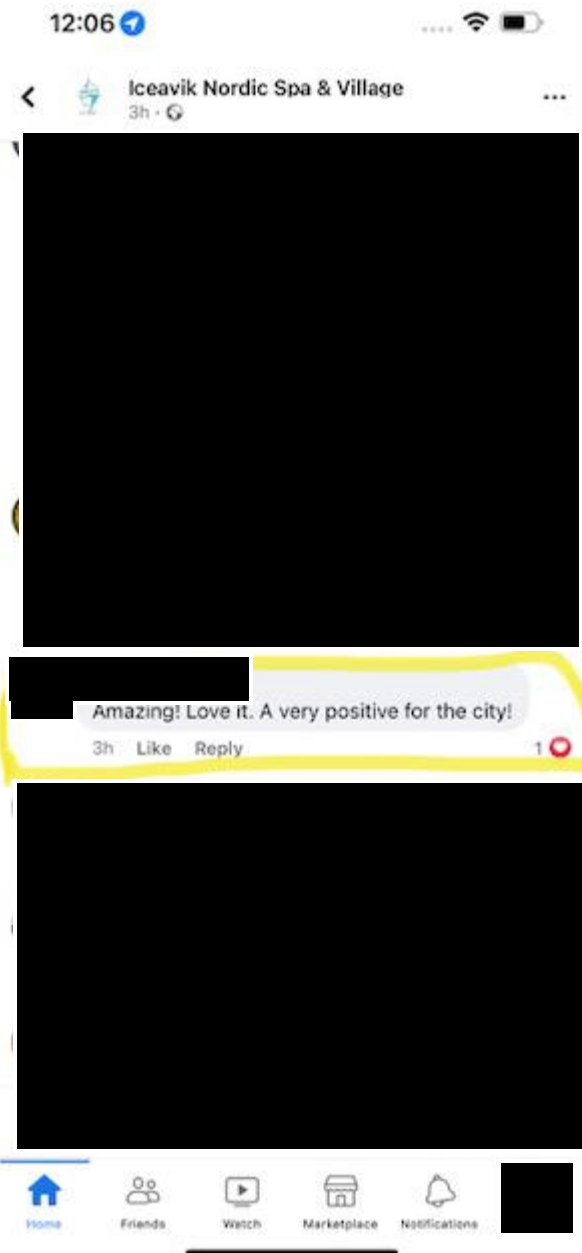
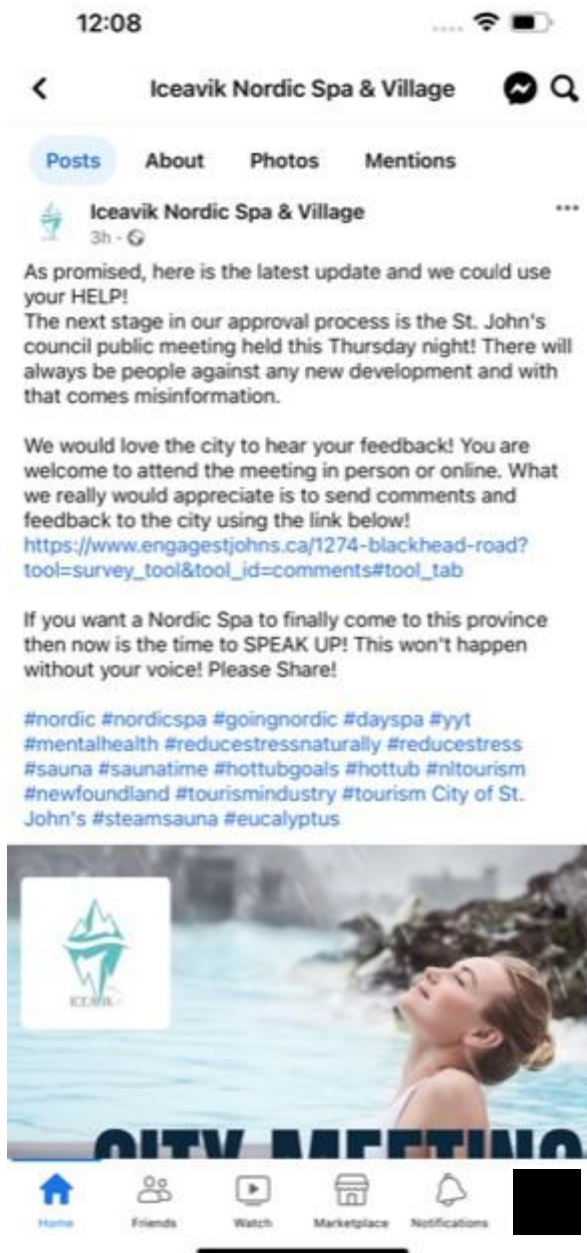
[REDACTED]

Stacey Baird

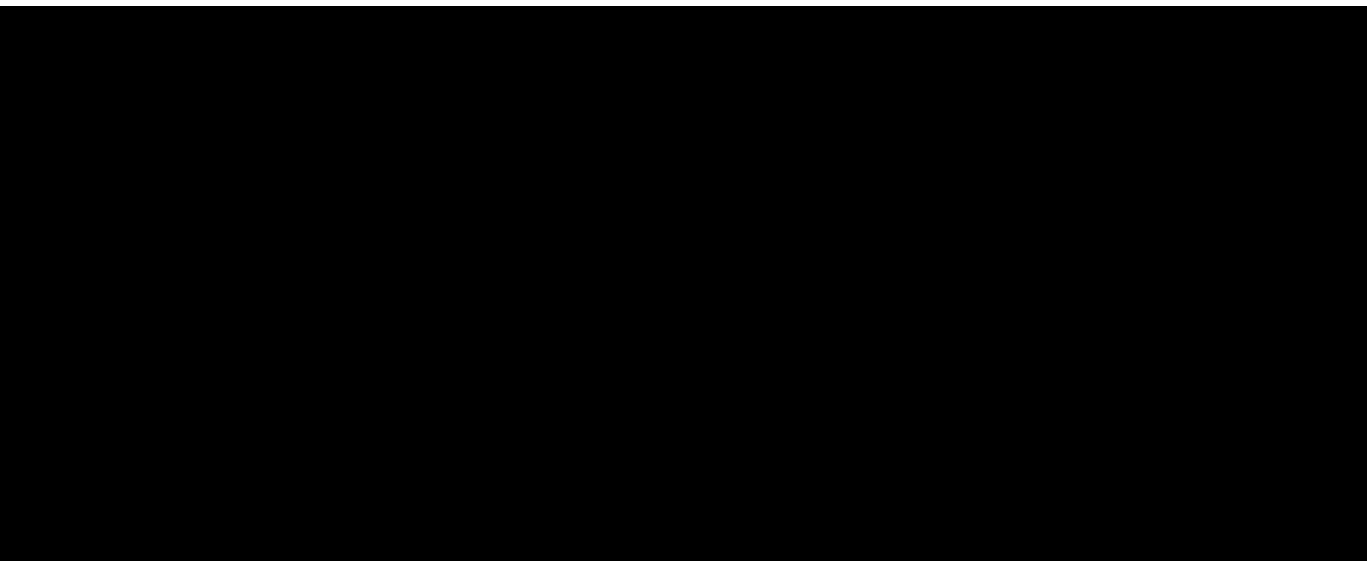
From: [REDACTED]
Sent: Wednesday, June 7, 2023 12:17 AM
To: Mayor
Subject: Re: (EXT) Blackhead commercial development

Follow Up Flag: Follow up
Flag Status: Flagged

Hi,
I would like to have the attached photos sent to be included with the information for the public meeting on Thursday if possible.
As well as to council.
I believe there is a conflict of interest in this situation.
You will see a circled comment on a post from the proposed spa. I will also include the post. This is a supportive comment toward the spa, in hopes that it will be approved. I believe this is a conflict of interest because Jamie Korab is on the council and holds a vote.



Thanks for your help,



Karen Chafe

From: Mayor
Sent: Friday, June 2, 2023 11:19 AM
To: CityClerk
Subject: FW: (EXT) Blackhead Development Proposal

[REDACTED]

Sent: Friday, June 2, 2023 12:04 AM
To: Mayor <mayor@stjohns.ca>
Subject: (EXT) Blackhead Development Proposal

I would like to express my concerns about the overnight spa development in blackhead.

I have lived in blackhead [REDACTED] with my [REDACTED]. I chose to live here because I love the peace and quiet. Now the lifestyle I chose to live is in jeopardy.

Call it what you want a "spa" or "campground" either way the fact of the matter is that if successful they expect upwards of 200 people a day coming and going. With less then 150 people living in Blackhead means that on any given day the population in the community will more then double. That sounds crazy to me!! These numbers could only be the beginning as there is always possibility for expansion.

What happens a year, two years or 5 years down the road when plans are submitted to double or triple the size and the amount of overnight domes and camping areas?

More people increases the risk of fire! There is only one road in and out of Blackhead and if a disaster were to happen combine with the additional traffic we would be trapped. There are talks of wood stoves inside the proposed overnight domes with the possibility of people tending to the fire who are inexperienced. I'm not sure if there will be outside fire pits at this time but if so that increases the risk tremendously. A stray cigarette butt in the woods is also a great risk.

Our emails and letter along with expressing our concerns at the upcoming meeting will all be documented and saved. If this development passes and a forest fire breaks out and someone gets hurt or loses their life it will make a interesting news story that the city of St. John's would let this happen knowing the possible consequences. Look at the disaster happening right now in Nova Scotia. It's not just a concern it is reality.

There was a similar development proposal 7-8 years ago and the members of the community bonded together to put a stop to it to insure our safety and way of life. This time will be no different!!

When it's time to vote on this development proposal please take into consideration the concerns of the community members of Blackhead.

Thank you

[REDACTED]

Sent from my iPhone

Karen Chafe

From: Karen Chafe
Sent: Wednesday, May 31, 2023 10:47 AM
To: [REDACTED]
Cc: Ann-Marie Cashin; Andrea Roberts; Ashley Murray; Tracy-Lynn Goosney; Jason Sinyard; Ken O'Brien; Planning; Lindsay Lyghtle Brushett; Stacey Baird; Christine R. Carter
Subject: FW: (EXT) Blackhead Road Commercial Development

Good Morning:

Thank you for your email. Via this response, I am forwarding it to our planning and development staff for their information and/or response. All submissions sent to the Office of the City Clerk will be redacted prior to their referral to a future Regular Council meeting.

Regards,

Karen Chafe
City Clerk

From: [REDACTED]
Sent: Tuesday, May 30, 2023 2:55:23 PM
To: Jamie Korab <jkorab@stjohns.ca>
Subject: (EXT) Blackhead Road Commercial Development

Dear Mr. Korab,

I am writing you today to discuss the planned "Spa" that will be located on blackhead road, in the centre of a quiet community.

I have concerns and views I would like you to take into account. I have lived in this community for [REDACTED] so my concerns are certainly valid.

I am certain, once you are informed, that it'll be an easy decision for you to vote in the best interest of the people who live in the blackhead area. One person's ability to potentially make money should not outweigh the way of life, and safety of the residents that have always been here.

First of all, I would like to address the idea of fires in general. Which is always a grave concern when you have no access to fire hydrants. As well as when the only water source available is a well. Keeping in mind there is also only one was into blackhead, and of course, only one way out.

What if there was a fire emergency? While surrounded by massive woods, things could get out of control quickly. What if we need to evacuate? All residents will have to leave, all visitors to this spa would have to evacuate. Which could add hundreds of people at any given time. Then, you would have to include anyone who is visiting cape spear, which increases heavily each year. Can we all get out safely enough? There is no cell phone service. How do you inform anyone in the area of an evacuation? Just drive around and stop to everyone, go from house to house, to cape spear and all over? It doesn't seem like the best or safest option.

How many water trucks will it take to put out a forest fire? How quickly can you fill these trucks and get them back out, when the closest water source is probably Shea heights? It will be total devastation.

I would like to now address the potential of fires increasing, when an overnight accommodation gets added to a residential neighbourhood.

As I can see now, maybe their plans do not include outdoor fire pits, but the references they include themselves to show the type of business they want to run, all have outdoor fire pits.

How many could they include? I'm assuming as many as overnight accommodations they have available. Each one has the potential to be catastrophic. It doesn't need to be an overly large fire to end up in disaster. All it takes is a spark. To float a couple feet away, to land on some dry brush, a tree that hasn't been rained on in weeks.

This is possible. As recent as last summer, we had weeks of extreme heat. Peoples wells were in danger of running dry, the grass was dying. A combination of those two things alone, just spells out risk.

Maybe it's not from an outdoor fire pit. An indoor wood stove, anything of the sort is a risk, even with experienced people at the helm. But especially when it's people who've never had a fire, getting away for a night, with no regard for the area because it's not their home.

Excluding the intentionally made fires losing control for a minute. The risk of a fire is still there.

With potentially hundreds of people coming and going a day, including many staying overnight, what about stray cigarette butts or things of the sort? Forest fires have started many times from someone carelessly throwing away the end of a cigarette into extremely dry woods, or even grass. Of course, unintentional, people do not take into account how easily a fire can be started. For every extra person that is brought to the area, that risk increases. It may seem insignificant for some but I guarantee you it can lead to something very significant.

As is shown by the massive out of control fire in Nova Scotia right now, or the out of control fire in Newfoundland last year. These risks should not be taken to benefit a single person. Especially a person, who has absolutely no ties to the area.

Secondly, I have concerns about the water and sewer plans for his area. When everyone who lives here has a septic tank, what will they do? They can't possibly operate on one septic tank. Where will this be dumping? Will it be contaminating our woods? How can a place with no water and sewer cope with such a large amount of people on one site?

I'm neither an expert in water, nor sewer plans but this could prove to be a massive and very costly endeavour for just a small spa? Is this just the beginning? What are the real plans for this business once it's started? How big do they plan on going? Is this just a foot in the door?

How will they ever have access to enough water to fill hot tubs and relaxation pools? Run any sinks, any toilets? Trucking in water is not a feasible option. A well cannot withstand that sort of water capacity. How many wells will they need?

Will they end up tapping into the same water sources as residents causing water level issues for them?

Some summers residents wells are in serious danger of drying up after long periods of no rain, how will they deal with this?

Thirdly, the impact on traffic. Blackhead road is a single lane in and a single lane out. With the current traffic involving residents and cape spear visitors alone can be a lot on any given day. If there's icebergs visible or whales, the traffic increases an incredible amount. This traffic seems to increase each summer as well. Which would be the busiest time of the spa. I invite you to come to blackhead on a Sunday and see for yourself the mass amount of traffic that already exists. Of course, with an increase in traffic, comes an increase of serious accidents on a highway like road. It has happened multiple times, where I have not been able to go home because the road has been shut down to traffic because of an accident. These accidents are usually severe as well.

Another concern I have, is the impact this business could make on the way of life of alot of the residents of blackhead. There are many four wheelers and chainsaws to be heard a lot of the time in the area. Who are operating legally, but how long until the spa complains of this noise? They are calling themselves a relaxation business of course. Will their concerns then take precedent over the residents who have been living this way for years?

I don't think the owners of this establishment have done enough research on the area.

The weather is always significantly colder than the rest of town and the sun disappears most of the time. This doesn't seem like the prime environment for a business like this to succeed. Should they be approved then fail at this endeavour, which is a real possibility, are we stuck watching structures that they leave behind start to crumble?

I'm also extremely concerned about the potential for more approved businesses starting in our small community if this

one is approved. Once one place opens, it must be easier for the next place. We are a rural part of St. John's and chose where we live based on that. We do not want to be surrounded by businesses.

My final point, is more or less a plea for us, the quiet residents of blackhead. To be able to take priority over the wishes of one to potentially make a profit. The plans of a person, who has no ties to our community and barely any ties to Newfoundland. We are your residents. We are the people you represent.

Everyone here has chosen to live here for the same reason. A quiet, simple way of life. We did not choose to live in the centre of the city for specific reasons. We have no desire to be anything but a residential community. There are no positives to come from the approval of this.

Please choose humans over profits and let us keep living the quiet, uneventful lives we desire.

I would like to thank you for listening to my points, questions and concerns. I trust you will vote with your head and your heart. Every point is valid, every concern could turn into a mess of a situation in the blink of an eye. Do you want to be looking back on this decision, if disaster does strike, and wishing you did things differently.

We are all just protecting, our homes and our peace.

We are your people, we support you in times of election. Now it's your turn to support us. And your support will never be forgotten.

As I sit outside, listening to the ocean, the birds chirping and the utter silence besides. I sincerely hope it stays this way.

I look forward to further discussion at the meeting, as do we all, and can't wait to put this development saga behind us once again.

Thanks for your time,



Sent from my iPhone

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Karen Chafe

From: Ann-Marie Cashin
Sent: Wednesday, May 31, 2023 10:44 AM
To: CityClerk
Subject: FW: (EXT) Nordic Spa - 1274 Blackhead Road

From: [REDACTED]
Sent: Wednesday, May 31, 2023 10:28 AM
To: Ken O'Brien <kobrien@stjohns.ca>; Ann-Marie Cashin <acashin@stjohns.ca>; Ian Froude <ifroude@stjohns.ca>; Carl Ridgeley <cridgeley@stjohns.ca>
Subject: (EXT) Nordic Spa - 1274 Blackhead Road

Good Morning Councillors:

My name is [REDACTED] and I am one of many citizens of the Blackhead Road area that is not for this Spa.

I reside at [REDACTED]. I moved to this area of town to get away from all the city feeling! Adding this to our area is not something I **DO NOT** agree with, I don't want to see a business [REDACTED]

We had the campground turned down; I feel that the fire risk is a huge problem. We live in the middle of the woods and have no access to water. The closest fire hydrant is 14 kilometers round trip and the same for a water source. Fire can spread quickly and we can lose everything we own.

We have no cell phone service in our area; what happens when someone gets hurt and can't get a landline? I know a few incidents that have happened where they had to drive away from the area to get service to call for help!

We do not have city water and are all on the same water table; is she going to be responsible for any issue that occurs when the properties around her go dry?

They want to get a license to sell alcohol; that seems like a total disaster. The owner has offered us a "resident discount" to her spa, that seems like she trying to bribe us into this. She has also told us that City Council has told her to add the sleeping domes to make it more of a tourism attraction.

Thank you

[REDACTED]

Karen Chafe

From: [REDACTED]
Sent: Thursday, May 18, 2023 3:01 PM
To: CityClerk
Subject: (EXT) Nordic spa on blackhead road

[REDACTED]

Comment: please allow the development of a Nordic spa. This is a great idea.

Thanks,

[REDACTED]

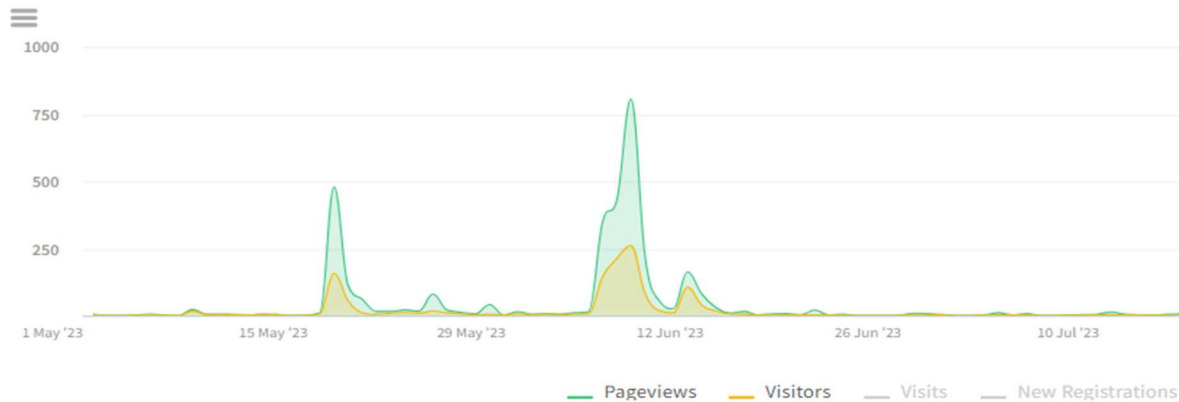
Planning St. John's: 1274 Blackhead Road

Engage!
St. John's

Visitors Summary

City Of St John's from 01 May'23 to 17 Jul'23

DAILY MONTHLY



Highlights

TOTAL VISITS	MAX VISITORS PER DAY	NEW REGISTRATIONS
1.4 k	249	84
ENGAGED VISITORS	INFORMED VISITORS	AWARE VISITORS
97	360	1.2 k

Types of Visitors:

- Pageviews – the total number of times a page is loaded
- Visits – the number of unique visits by an individual
- Aware – visited at least one page
- Informed – has taken the “next step” from being aware and clicked on something
- Engaged – has contributed to a tool (e.g. survey, comment, question)

Comments

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I fully support this project. I think this is great for people with chronic pain, and great for our economy and tourism. This would really make Newfoundland stand out in a positive way, and what a beautiful place to have such an amazing facility. Our weather and rainy days would really compliment a spa like this!	Support	
This is a great business idea. Other provinces have been offering this as a weekend getaway for couples/ groups. It also supports the healthy living aspect that is needed to be supported in our province. As stated by the Province's Health Accord	Support	
This province does not have a spa to the Nordic spa level. It would be a good tourist and staycation destination for the area/province. The Nordic spas I've viewed are not overpowering on the landscape. Looks like lots of parking that would not disrupt anyone nearby. Please ensure any disruption to wildlife and vegetation in the area is explored before approval, and any plan for environmental impacts is considered by proper authorities.	Support	No
This would be a great addition to our City!	Support	

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Looks great. A welcome addition to the City.	Support	Yes
A business of this type is long overdue in Newfoundland. I feel that the area is well suited for this use and based on the land use report will not negatively impact the neighboring properties. It's apparent that a lot of thought and consideration has gone into this project and has the potential to be a positive improvement to the area. If anything it will bring value to the community and economic stimulus.	Support	
Hi,I think this is a great idea and will be very beneficial to our community..	Support	Yes
100% in support of this. Not only is it amazing for the tourism in our province it will help Expand the workforce aswell. We need more high end luxury facilities to attract out of province people to grow our economy. [REDACTED] [REDACTED] I'm more than happy to see this location be her choice.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I would love to see this spa up and running. I live in [REDACTED] and would be a regular customer. I've lived in larger cities where spas are a common business and they do quite well, and I'm sure one will succeed. Looking forward to		No
Great for tourists, great for night of relaxation also great for the mind. Love going to hot springs in [REDACTED] Yukon would be awesome to have a hot spring here.		Yes
I fully support the development. It will be an excellent addition to the city and the province, bringing jobs and tourism to the province. We are the only province in Canada that doesn't have a high quality spa or a day spa where people can go and enjoy themselves. If this opened I would visit whenever possible.	Support	No
I am thrilled to see an initiative like this coming to St. John's. This has the potential to be a great source of income for tourism in the area, encouraging tourists further into outer limits of the city, and increase the footprint of wellness/holistic tourism business in these areas. Additionally, this business would be a first of its kind for the province, bringing us more in line with other provinces and countries. It has the potential to become a great wellness hub in the community, boosting the economy, promoting health and wellness within our city, and also start a great trend for business owners willing to invest in our beautiful city.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I think this would be a wonderful addition to what the city of St. John's has to offer.	Support	Yes
I think this is a great idea. The location is perfect, close enough to the city but excluded enough to feel like you're outside of it. I think it will be great for both locals and the tourism industry. Myself and many people in my close circle have planned trips around being able to go nordic spas, and I know of many people who would purchase a membership if there was one in Newfoundland. Very excited about this project	Support	Yes
Great idea! I strongly support this proposal. I would use the spa as a resident of a neighbouring community. I think it's great for tourism.	Support	No
This business would be a great option to add in the city for residents as well as tourists. I often go to a Nordic or Scandinavian Spa when visiting other provinces. The location is great in terms of closeness to the city, while being in nature.	Support	Yes
We need a Nordic spa! Each time I try to book in Chester, NS it's completely booked. I've been to several across the country and we have the perfect landscape to create high traffic retreat. Please consider this business venture.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I love Nordic style spas whenever I travel I try to visit one they are incredibly relaxing and enjoyable not to mention wonderful mental health and self care. As well this would be great for tourism.	Support	Yes
I believe this project would be a great addition to our community	Support	No
I believe a Nordic spa in St. John's is a wonderful idea. Not only will it attract local clientele and enhance the wellbeing of St. John's residents, but it will attract tourists and encourage tourism to the province. Blackhead Road is an ideal location for a Nordic spa, as it is very quiet and isolated. I don't feel that this type of establishment will increase traffic volume any more than tourism traffic to Cape Spear as many visitors will be parked at the spa for hours and then simply drive back out Blackhead Road. I don't feel it would be a concern for residents living nearby, as a spa is a quiet, relaxed atmosphere and will have little impact on those living in the area. Please consider approving this wonderful opportunity for our province. We do not want to miss out on such an opportunity for our province when there are entrepreneurs ready to take on this amazing project.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
As a resident of St. John's, I have been anxiously awaiting news of this business since first reading about it. I hope this manages to go ahead, I would support this business. The nature of it being a relaxing spa environment should also mean that noise disruption to neighbouring properties will hopefully be minimal. Hope to see it soon.	Support	Yes
A Nordic Spa is exactly what St. John's is missing. It's excellent for the tourist industry as well as the local population year around. These type of spas are a huge hit in all other provinces and would be the perfect place to beat (and even enjoy) a foggy St. John's day. It would be a big miss for our city to pass something like this up and not get behind it's development/success. There's always going to be people against change and something different, and those folks are often the ones that hold us back from developing for the better as a city/province.	Support	Yes
As I have many chronic illnesses and physical disabilities I am greatly looking forward to having a Nordic spa available to use. This is going to help out a lot of people in our community, especially with our aging population	Support	Yes
I think this is a wonderful development that will please many people. I would love to see it built and look forward to using it. I mean really, a Nordic spa right here in St. John's, we're coming up in the world! Yes!	Support	

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I think this is such an amazing idea that will bring so much to the city! It will provide something unique that has not yet been done here.	Support	No
I am very excited about a Nordic Spa possibly coming to Newfoundland. I am a family physician and I think this would be a great treatment and relaxation spot for many people. I have been to Nordic Spas in Quebec and Ontario and they are lovely, there is often careful attention paid to the environment and I think it would benefit our community greatly. I would use it often.	Support	Yes
Please let these developers construct this Nordic spa! It will be such an excellent addition to our city and province. It will also be an excellent draw for tourist!	Support	Yes
I think this is a wonderful business venture for our city and our province.	Support	Yes
Other provinces have Nordic spas like this one, I have friends who travel to other provinces just to go to these spas. It would be so exciting to have one of our own right here in the city. Also, so many tourists visit NL every year so it would be something extra to offer them.	Support	

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I don't want this in my area! We are against it!!!!	Oppose	Yes
I would LOVE to see this come here and I know my friends and family will as well. This would be a great addition to our city.	Support	Yes
I think a Nordic spa would be a wonderfully unique addition to the city, appealing to locals and tourists alike.	Support	Yes
This is a excellent idea. I've been to several of these spas across the country and they are exactly what this province needs. We lack the simple things like outdoor Spas which most other provinces have had for many years. There's nothing bad to say about this.	Support	Yes
I think a Nordic Spa is an excellent addition to the City of St. John's. They are all over other Atlantic Provinces / Canada and attract clients from all over! Great idea.	Support	No

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
This would be an amazing addition to the community. 1000% support. Health and Wellness should be an absolute priority and focus point for the City right now as we continue to recover from the impact of COVID, isolation, and overall the health crisis of the province in general. I've visited Nordic Spas in Calgary and we are a prime location for a business such as this. Also a major add to the tourism industry.	Support	Yes
Absolutely support this idea. The experience of a Nordic Spa is like no other. I support the idea of any new facility of development that will promote health and well-being to residents nearby. As Newfoundlanders, we need access to more resources like this. Not only will it benefit nearby residents, it will draw more people into the metro area to visit a place like this. This vote should be a no brainer.	Support	Yes
Will be a great tourist addition to the communities	Support	Yes
I think this would be a wonderful addition to an already booming tourist location. I've been to many Nordic Spas across Canada and it has such a good impact not only on economy but personal health and well-being. I believe a Nordic Spa in the St. John's area would be mutually beneficial to both the province and the civilians	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Would be so good for the community!	Support	Yes
Would love to see this in St. John's!	Support	Yes
I think this will be a great addition to the city that will attract tourists, opportunities and interest locals. I further think it will add health benefits to the population and provide further business opportunity and work for our local population. I don't foresee any negatives with this establishment unless some of the local residents do not wish to have it located in their neighborhood.	Support	No
Would love to be able to go to a place like this in St. John's!!	Support	
I have visited Nordic style spas and they are tranquil, relaxing, and great for overall wellness. This could also be a tourist destination/activity. This would be a great addition for St. John's.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
A Nordic Spa would bring so much business to the city of St. John's! It's usually a quiet zone so there wouldn't be noise.	Support	No
I think this would be a great facility to open in St. John's.	Support	Yes
Great economic opportunity for city of St. John's	Support	Yes
This looks like a wonderful addition to the community great for residents and tourists too	Support	No
I think this would be a highly used, niche endeavour that has done very well in other parts of Atlantic, Canada. I am from [REDACTED] and the Nordic spa in [REDACTED] has brought significant mental health improvements to many people of the province. I am a lover of Nordic spas, and the benefits they bring, but I'm also a [REDACTED] year old resident of St. John's who can guarantee that a business endeavour of this nature, if run correctly of course, would bring	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
jobs to the local area and tourism throughout the city. I am unable to be at the meeting on the eighth, but I am in full support!		
I think this would be great for the city ... for both tourism and local. Beautiful area to have this facility !	Support	Yes
I think this a fabulous idea especially in such a rural part of the city. There is a lot of land not touched in this area so I feel it would work out perfectly. A nice little getaway still in the city	Support	No
<p>I think St. John's needs a Nordic Spa, the brand suites Newfoundland and Labrador perfectly and this is a needed service locally and for tourists.</p> <p>I have been excited for this for a few years now but fear this process will be so long they will mobilize in other places instead due to the very slow moving process for approvals to proceed, no funding support, poor infrastructure, and high rate of unionization.</p>	Support	No
As a chronic pain suffer I can't wait to try the Hydrotherapy treatment !	Support	No

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Would love to see this Nordic spa happen! Health and wellness are so important, ESPECIALLY following COVID. I've been following their Facebook updates and would 100% be a supporter and use these services!	Support	No
This is an amazing opportunity for the city not only locals can enjoy this year round but tourists and conferences with attendees from all over will be enticed.	Support	Yes
I think this is a wonderful addition to our Travel and Tourism Industry and will be beneficial in the growth of our city. To grow we must bring in new and exciting things. The economic impact with construction jobs to build and jobs after to run the business will be great. I do not see any negative impact to the area or neighbouring properties.	Support	Yes
Sounds like an amazing idea! Great for our province and tourism.	Support	Yes
The Nordic spa would be a much welcome addition to the city. This type of high level services are also an attraction to bring large groups such as conferences to our region. I have visited similar spas in other provinces and they are world class.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I think this is a fantastic spa for our city!	Support	Yes
For many years I have always been in favor of building the community. Blackhead is just on the outskirts of the most Easterly point in North America. A huge tourist destination. But its lacking in development. With so much around health and wellness, there has been an increase in foot traffic as well as people taking in the scenic walking trails. The addition of this spa is adding to the heath and well being of its clients. Now people can not only enjoy the rugged beauty of the area but now also have the added option of a full experience. I am in complete favor of this development. Including this into the local area will not cause any disruption to the area residents as they already see an abundance of visitors year round. I see it as a potential to grow the existing area. More clients to buy from the local gift shop or stop by for a tour of the one room school. All around I think if given the chance people will see the benefits. Change is always difficult for people and everyone always says not in my back yard, but if we continue with that mentality then we will never thrive.	Support	Yes
I think this would be a wonderful addition to our local economy. It would provide another form of relaxation to residents and visitors. I would also like to see that area developed more.	Support	

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Truly support this development. This development will allow the City of St. John's to offer another amenity - one which the province does not already have. This development will be a step in the right direction around expanding opportunities for our city to enhance ways for residents of NL to improve their mental health and mental wellness. It is needed within a wooded area to gain its full effect and this location is perfect!	Support	Yes
I think this will add great profit for Newfoundland and the city in general. It is something different and would be very popular with tourist. Away these spas are consistently busy.	Support	No
Absolutely amazing! Cannot wait to avail of this most wonderful peaceful experience here in St. John's and the most perfect location outside the city. What a quiet atmosphere this will be especially for anyone wanting to get away for a day and treat themselves to a healing distressed day so looking forward to being able to take advantage of this spa in Blackhead.	Support	Yes
Sounds like a lovely addition to St. John's!	Support	Yes
I am very excited about this new development. It would be a wonderful addition to the province and a tourist attraction. It promotes wellness and being in the beautiful nature our province has to offer.	Support	No

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Love this, great idea.	Support	Yes
Absolutely love this idea! Great location and is a much needed service for the residents of St. John's in this area of town.	Support	Yes
I am so excited for this spa to be brought to our city, we have nothing like this on the island, it would be such an awesome addition!!	Support	Yes
I feel that a nordic spa would be a great addition to St. John's. The aim for these spas are for quiet and relaxation, so there should be minimal impact on local residents.	Support	
In favour I love Nordic spas	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I would love to see this kind of wellness and tourism business here in St. John's. I used to visit similar facilities in [REDACTED] and [REDACTED] and really miss having this here. Please support thi application.		
This project should be approved, it is business that will bring something new to people who can also obtain a job as well. I own a business [REDACTED] & I would 100% be a client there. It will bring a fresh relaxing feeling to have this business here. We have never had a business here like before, we need a spa on the more higher e Nordic Spa. I know by appro here & providing our people a job they can love		No
This would be an amazing addition to our community. The location is perfect for the rural feel but still close to the city	Support	Yes
I strongly support this idea and this location for it. I believe the location is the perfect spot as it will help boost tourism in that area which is great for the city. On the flip side, any tourism happening in the area may also boost the business which would help make it viable. There will be limited disruption to any neighboring residents while providing a unique experience for locals. As long as it is built with as minimal environmental impact as possible, I wholeheartedly support this endeavor.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
I fully support the addition of this business to our city. I live [REDACTED] and feel as though this is the perfect location of a Nordac Spa. It will provide jobs to the area. As well, it will provide a beautiful and different service that the reside this City are excited about. . Bringing also help their local economy.		No
This is a fantastic project. Will be great for mental and physical health of residents. Also great tourist benefits Family and friends from mainland Canada and also some from Europe have repeatedly asked why there isn't this kind of facility here. If any neighbours to the project have concerns, those should be addressed through appropriate parking and noise barriers or landscaping, not by stopping the project. This is the exact kind of year round eco friendly project we should encourage in St. John's.	Support	
Hi my name is [REDACTED].I am writing you today about the spa development at 1274 Blackhead Rd.I have a lot of concerns with this development such as where is all the water coming from? My well went dry twice now so if they are going to use 1 or more wells it's going to lower the water table in my area also there is no cell phone service in the area. They can say that there will be a landline in case of emergency but when alcohol is involved they will go to the nearest house in the middle of the night asking to use the phone and the people of blackhead don't need this.also what about campfires! There is ONLY one way out of blackhead and if a fire starts the people of blackhead might not be able to leave their houses because we had a close call a few years back when a fire started in blackhead and jumped the road with in minutes.the only thing saved us the people of blackhead helped to keep it from spreading till the fire department came. And one of the last things I will mention is there	Oppose	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
is very popular atv trail next to the development were the people of blackhead depend to cut there wood to heat there homes. This same trail is also a popular hunting trail and fishing trail. So this is passed I think our rights will be taken away so Please vote no to this spa development.. thanks for you time		
I am in favour of this spa opening	Support	
Having an outdoor spa in Newfoundland would be such a fantastic way for people to spend time outdoors, even when we are in the middle of our usual rain, drizzle and fog season (which as we all know can last quite some time). I have been to Nordic spas in other provinces during the winter as well (unfortunately our longest and most unpleasant season here) and it was a great way to again be outside without having the weather being an issue. I strongly support this idea, and have thought for sometime that it would be great to have a Nordic spa here in Newfoundland.	Support	Yes
I think this would be a great asset to the city, for locals and tourists alike. I've visited other Nordic spas and would definitely visit this one.	Support	No

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
The potential of a Nordic Spa in the St. John's area has been a topic of excitement among my friends and peers for quite some time now. We have used similar facilities in [REDACTED] and [REDACTED] and loved the experience. I believe if done well, this be extremely successful in our provinc like it. Hoping to see it proceed into fruition.		Yes
I went to a nordic spa in [REDACTED] and it was an amazing experience. It's a fantastic boost for mental health. I think it would be a wonderful addition to our province for local		No
Please give the nordic spa the green light!! This would do so well here. Nordic spas are great for both mental and physical health, something that needs to be promoted so much more in NL. We were SO excited when the news came out about this development - this would be a huge draw for tourists as well. Please approve so they can get started on building this amazing facility!!	Support	Yes
This would be a great benefit for St. John's and a tourism draw to our city. I think this is a wonderful idea!	Support	Yes
This would be an asset to our area, a tourist attraction and something residents could benefit from tremendously. I have been to many Nordic spas and they are so beneficial for physical and mental health. With the current health crisis in NL, and so many residents suggesting from mental health, a facility like this so something we should absolutely be supporting. For our own sake,	Support	Yes

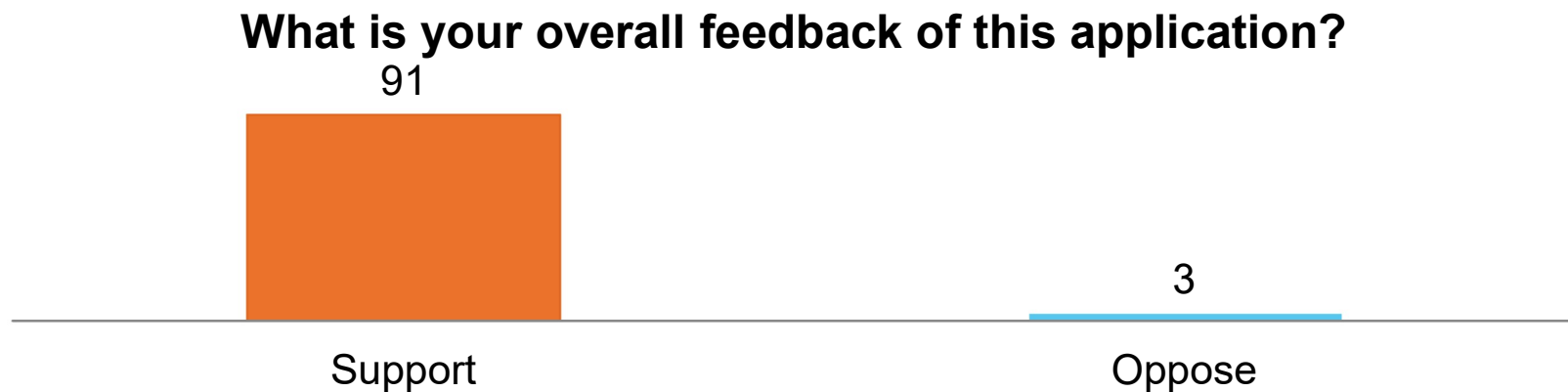
Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
and the sake of our economy! Surrounding businesses will benefit from the exposure and attracting to the currently under utilized area. I can't think of any reason why this project shouldn't be fully supported.		
<p>While I do not have any concerns with the business concept (i.e. the Nordic Spa), I do have some about the proposed location. Even though similar concerns were raised by others last night during the public consultations, I want to add my thoughts for the record. [REDACTED] The proposed site is [REDACTED]. My concerns:</p> <p>(1) It seems to me this is primarily a commercial development. It is a spa that is adding accommodations to seemingly the bypass the regulations.</p> <p>(2) There will be increased traffic (heavy trucks to transport water and regular vehicles) which is a concern to personal safety.</p> <p>(3) There is a water concern. The majority of residents has artesian wells and are possibly drawing water from the same source. This business will add to the demand on the water supply. Who will be responsible/liable if the water supply fails?</p> <p>(4) Of course, the higher the number of people, the greater the risk of fire, accident and/or injury. There is no cell service in our area. If something happens, there could be delays in reporting incidents and emergency services being dispatched.</p> <p>There are other areas that would better suit this business.</p>	Oppose	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Thank you		
Have been waiting so long for a Nordic spa to open in NL! Great business opportunity and will spend a lot of my time there	Support	
This business would improve the well being of everyone who partakes, help with tourism, and support a culture around our population being healthy. I see very few negative possibilities, if any.	Support	Yes
We need more things like this in St. John's - keep these ideas coming!	Support	Yes
This would be beneficial for St. John's.	Support	Yes

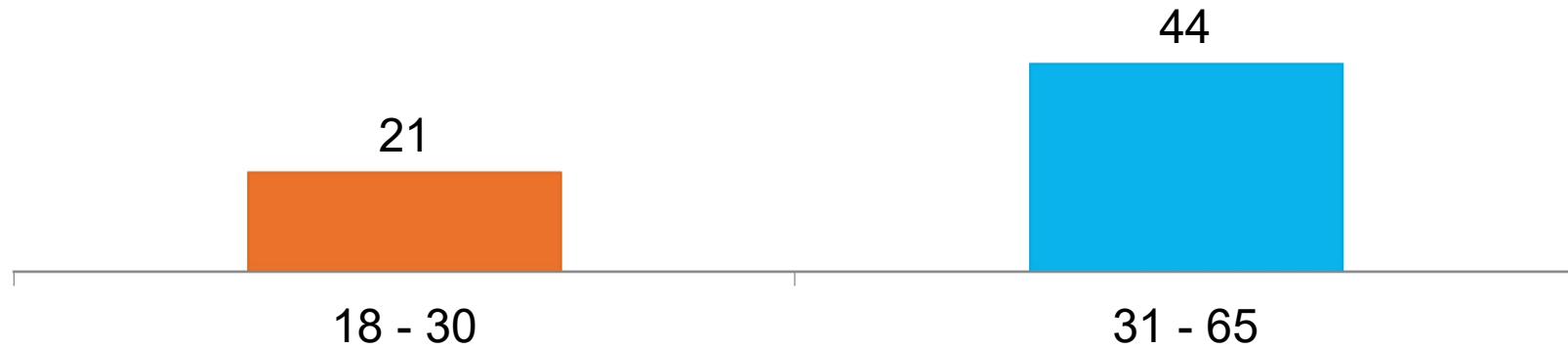
Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
Would love to have a Nordic Spa here!!	Support	Yes
I feel that this project should be approved. Personally, I would use this facility on a regular basis for my own health and well-being. Most provinces have at least one nordic spa, and they are heavily used by the people in the area of such facilities. In addition, nordic spas are a tourist attraction, as myself and my friends will travel specifically to areas with nordic spas so we can avail of their services. In particular, I feel that the proposed location will make it a particularly attractive tourist destination, as well as more likely to be used by residents year-round. In my personal experience, there would be no risk of having "drunken people" or loud parties at a nordic spa, as the patrons are asked to speak quietly or be silent while in the public areas, and they are not facilities where one would go for a loud, alcohol-fueled party. They are calm and serene. It is my view that approval of this application would bring many benefits to the area and any detriments could and would be managed.	Support	Yes
I think this will be a great addition to services in the area.	Support	Yes

Survey Response		Sign Up Form Details
Your comments	What is your overall feedback of this application?	Do you live in the City of St. John's?
With all the stress in this day and age I know cold can help and would be using this business for for the heat and cold pools.	Support	No

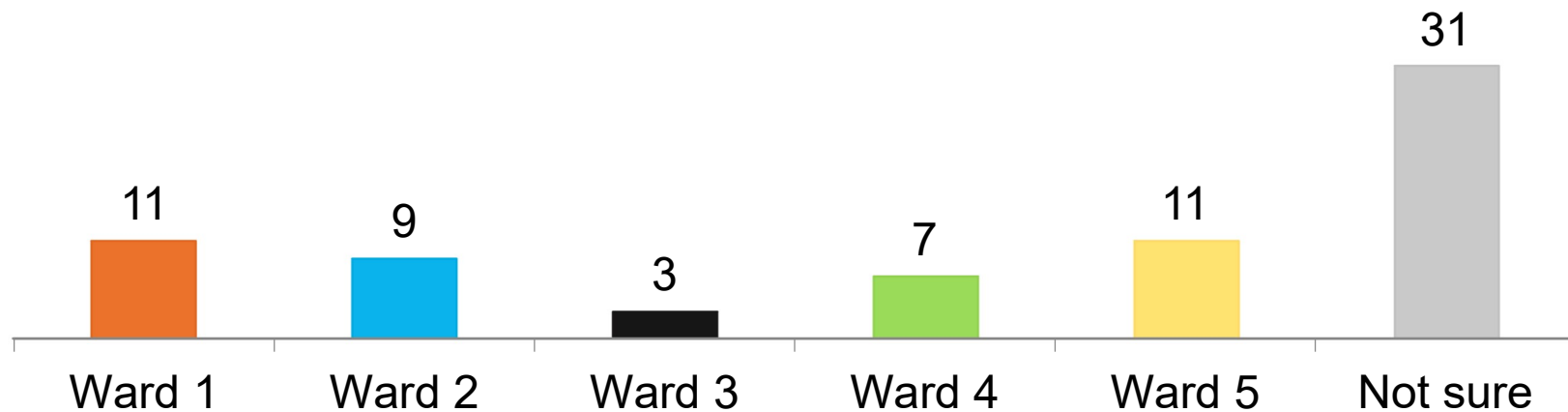
Comments Summary



What age bracket are you in?



Which Ward of the City do you live in?



Questions

Q&A Question	Admin Response Details		Do you live in the City of St. John's?
	Response Type	Admin Response	
Why is this meeting not held in the community!!!! The Shea Heights Community Center!	Public Answer	We understand the convenience of holding meetings close to where people live, however in order to provide the option for people to attend the meeting virtually via Zoom, we must hold the meeting at City Hall where we can use the available tech.	
What happens when a fire breaks out, we have no fire hydrants and in the middle of the woods! Fire spreads quickly!	Public Answer	The application was reviewed by the St. John's Regional Fire Department. The City has a policy in place for areas with no municipal water supply. They would respond to a structure fire with at least two pumpers carrying water on both. If need be, other pumpers will respond, as well as the water tanker, which has a larger capacity for water onboard. They would identify a water source in the area ie: pond/river and transport water from that.	

Q&A Question	Admin Response Details		Do you live in the City of St. John's?
	Response Type	Admin Response	
What enhancement will this bring to the people and the community of Blackhead! Employment, economic, tourism ! Please outline the benefits to compare to objections!			
when do we expect a decision on this matter?	Public Answer	The date is still to be determined. Once the minutes from the public meeting are prepared and staff review all submissions received, the application will be brought back to Council for consideration in the coming weeks. Council agendas are posted to the City's website every Friday afternoon.	Yes
How come the owner of the spa only released information about this location after the meeting with the community and the community members had no idea she wanted to have a separate sports and massage therapist on hand for that kind work over and about the spa massage therapist and her water use report is false in water she claims 2 showers per person and on vocm live radio on Monday she stated multiple showers with a bucket of running water u can pull and have dumped on u at all times and she said no fire pits and			


Q&A Question	Admin Response Details		
	Response Type	Admin Response	Do you live in the City of St. John's?
the again on vocm u can sit by fire with your wine and injoy she's either lying to us the community or lying to the city to cause none of this extra items are lm her report			


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As promised, here is the latest update and we could use your HELP!

The next stage in our approval process is the St. John's council public meeting held this Thursday night! There will always be people against any new development and with that comes misinformation.

We would love the city to hear your feedback!

You are welcome to attend the meeting in person or online. What we really would appreciate is to send comments and feedback to the city using the link below!

[https://www.engagestjohns.ca/1274-blackhead-road?](https://www.engagestjohns.ca/1274-blackhead-road?tool=survey_tool&tool_id=comments#tool_tab)

[tool=survey_tool&tool_id=comments#tool_tab](https://www.engagestjohns.ca/1274-blackhead-road?tool=survey_tool&tool_id=comments#tool_tab)

If you want a Nordic Spa to finally come to this province then now is the time to SPEAK UP! This won't happen without your voice! Please Share!

#nordic #nordicspa #goingnordic #dayspa #yyt
 #mentalhealth #reducestressnaturally
 #reducestress #sauna #saunatime #hottubgoals
 #hottub #nltourism #newfoundland
 #tourismindustry #tourism City of St. John's
 #steamsauna #eucalyptus



Home



Friends



Watch



Marketplace



Notifications



Menu



< NaN/-Infinity >

PHOENIX DOMES

4-Season Glamping Package Dome - 20'/6m

\$8,800.00 CAD

Shipping calculated at checkout.

Frame

Light Frame

Medium Frame

Color

White

Sage Green

Desert Beige

Quantity

- 1 +

Can I put a washroom and kitchen in my Dome?

Do you sell washrooms, kitchens, heating and cooling appliances?

How strong are Domes?

Do I need a building permit for my Dome?

It depends. Our domes are technically tents, thus temporary structures that can be dismantled in a day.

Many of our customers living rurally decide to avoid the bureaucratic hassle and not apply for permits – as long as the neighbours don't complain, it is usually fine.

However, if your use is more high profile or a commercial vacation rental business, you may need to obtain permits.

Every province, and every municipality, may have different rules and requirements. Our engineer reports for the load rating, as well as the engineered platform plans, are usually sufficient to satisfy the authorities. We will do our best to assist with the process, however we cannot guarantee that the building department will be open to these alternative structures. In some cases, additional engineering studies are required.

What does it take to set up a Dome?


What about the door?

What about ventilation?

2V, 3V, 4V Domes... What difference does it make?

PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Beverly Starr	Beverly Starr		6/4
Millard Starr	Millard Starr		6/14
Angela King	Angela King		6/4
Wayne King	Wayne King		6/4
Justin King	Justin King		6/4/23
Antoinette Ryan	Antoinette Ryan		6/4/23
Keith Hibbs	Keith Hibbs		6/4/23
Bonita Ryan	Bonita Ryan		6/4/23
Ed Fitzgerald	Ed Fitzgerald		6/4/23
Anne Fitzgerald	Anne Fitzgerald		6/4/23
Shelley Hickey	Shelley Hickey		6/4/23
Paul Hickey	Paul Hickey		6/4/23
Kayla Fitzgerald	Kayla Fitzgerald		6/4/23
Ron Fitzgerald	Ron Fitzgerald		6/4/23
Tina Moores	Tina Moores		6/4/23
Don Tucker	Don Tucker		6/4/23

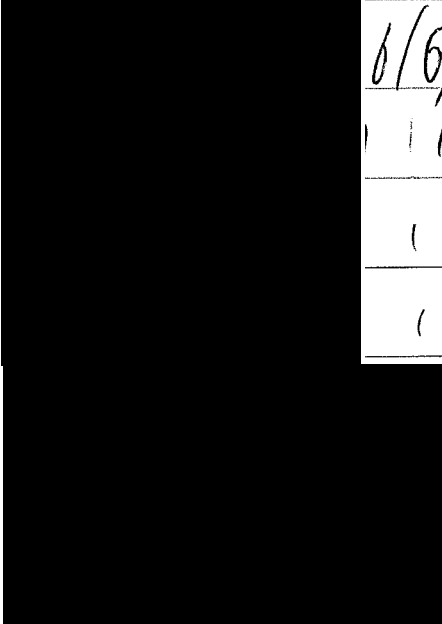
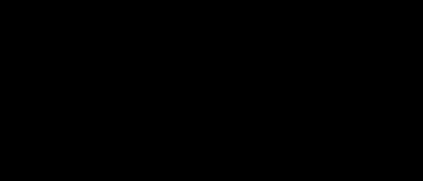
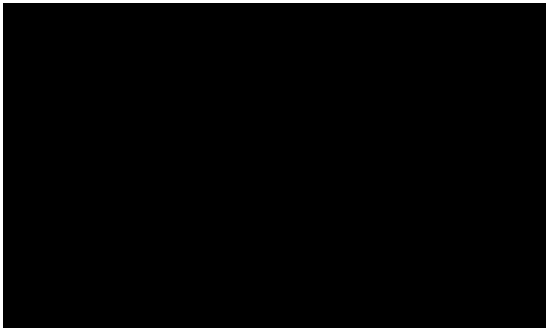
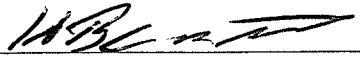

PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Don Moore	Don Moore	[REDACTED]	6/4/23
Justin Grest	J. Grest		6/4/23
Nicholas Grest	N. Grest		6/4/23
Cassandra Strickland	C. Strickland		06/04/23
David Eorte	D. Eorte		06/04/23
Jacqueline Grest	J. Grest		1st/06/04/23
Michael Yetman	M. Yetman		1st/06/04/23
Aileen O'Neill	E. O'Neill		1st/04/06/2023
Leonard O'Neill	L. O'Neill		04/06/23
Randy Vickers	R. Vickers		04/06/23
Joe Yetman	J. Yetman	[REDACTED]	04/06/23
William Yetman	William Yetman		04/06
Kelly Yetman	Kelly Yetman		04/06
Michael Norman	Michael Norman		04/06 2023
Kyle Yetman	Kyle Yetman		04/06/23
Stane Williams	Stane Williams		04/06/23

PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Georgina Earle	Gz Earle		6/6/23
Brandon Earle	Brandon Earle		1/1
Breanna Earle	B Earle		1/1
Keith Norman	Keith Norman		1/1
Sheri Hatcher	Sheri Hatcher		1/1
Thomas Earle	Thomas Earle		1/1
Sonia Earle	Sonia Earle		1/1
Margaret Williams	Margaret Williams		
Jeannie Adams-Linegar	Jeannie Adams-Linegar		
Bill Linegar	Bill Linegar		
Noah Adams	Noah Adams		
Cameron Adams	Cameron Adams		
Fred Tucker	FRED TUCKER		
	HAROLD BENSON		6/6/23
Tina Benson	Tina Benson		6/6/23
Calvin Porter (R)	Calvin Porter		5/6/23

PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Ron Dillon	Ron Dillon	[REDACTED]	June 6/23
Calvin Porter (SR)	Calvin Porter	[REDACTED]	June 6/23
Barbara Porter	Barbara Porter	[REDACTED]	June 6/23
Jean Saunders	Jean Saunders	[REDACTED]	June 6/23
Paul Shulgrow	Paul Shulgrow	[REDACTED]	
Eileen Collins	Eileen Collins	[REDACTED]	
Ken Collins	Ken Collins	[REDACTED]	
Kathy Earles	Kathy Earles	[REDACTED]	
Patrick Horlick	Patrick Horlick	[REDACTED]	
Brett Williams	Brett Williams	[REDACTED]	June 6/23
Ashley Sparrell	Ashley Sparrell	[REDACTED]	June 6/23
Stephanie Head	Stephanie Head	[REDACTED]	June 6/23
Mike Head	Mike Head	[REDACTED]	June 6/23
Kevin Gaulton	Kevin Gaulton	[REDACTED]	June 6/23
Wes Ryan	Wes Ryan	[REDACTED]	June 6/2023
Margaret Clarke	Margaret	[REDACTED]	

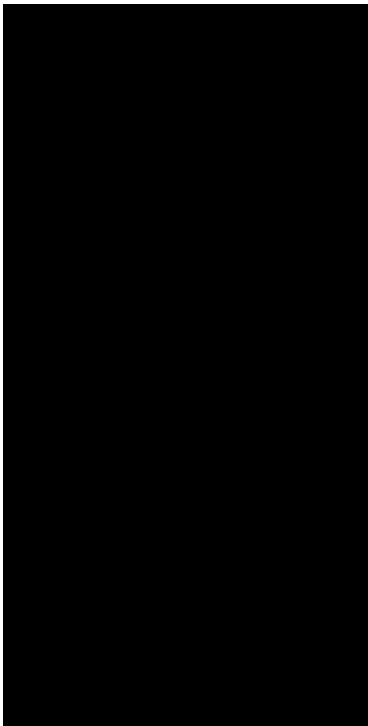
PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Staley	S. Denny		6/6/23
John	John W. M. S.		6/6/23
Zita	Z. Holden		" "
Gerard	G. Holden		" "
Corinae	C. Holden		" "
Lean Key	[Signature]		" "
Josh Watson	Josh Watson		" "
Chris Chafe Jr.	Ch Ch		" "
Valerie CHAFE	Valerie Chafe		6/6/23
Rae Chafe	Rae Chafe		6/6/23
William Kennedy	William Kennedy		6/7/23
Tia Whitecay	Tia Whitecay		6/7/23
Tom Warr	Tom Warr		23-06-07
Cherrie Minetti	Cherrie Minetti		6/8/23

PETITION TO STOP BLACKHEAD SPA DEVELOPMENT

Subject Matter: We, the community of Blackhead, petition the city of St. John's to stop the Nordic Spa & Overnight Accommodations development proposal located at 1274 Blackhead Road.

PRINT NAME	SIGNATURE	ADDRESS	DATE
Noelle Baker	Noelle Baker		6/6/23
Phil Oliver	Phil Oliver		6/6/23
Christian Storr	Christian Storr		6/7/23
ARA HEALEY	Ara Healey		6/8/23
Wally Colling	Wally Collins		6/8/23
Annette Guest	Annette Guest		6/8/23
Krista Earle	Krista Earle		6/8/23
Nicole Greeley	Nicole Greeley		6/8/23

Hybrid Public Meeting - 1274 Blackhead Road Zoom & Foran Greene Room – St. John's City Hall Thursday, June 8 – 7:00 pm

Present: **Facilitator**
Marie Ryan

City of St. John's
Ken O'Brien, Chief Municipal Planner
Ann Marie Cashin, Planner III

Proponents

Rebecca Bezanson, Iceavik Nordic Spa
Mark Whalen, HW Architecture

There were approximately 40 participants in person and online, in addition to the representatives from Iceavik Nordic Spa and City Staff.

CALL TO ORDER AND BACKGROUND PRESENTATIONS

Ms. Marie Ryan, Independent Facilitator, called the meeting to order at 7:00 pm and outlined some housekeeping items.

Ms. Ryan noted she is an independent facilitator and is not responsible to write the report from this meeting or make any recommendations, but to facilitate and Chair this meeting.

The purpose of this meeting is to provide members of the public the opportunity to ask questions and provide comments on the proposed spa. The City staff will present on the application and then if the proponents wish to present and answer questions that will at that time.

Ms. Ryan also noted that this meeting is being recorded for assistance in preparing the final report. The report will be presented to City Council at a future meeting.

The report will not include the names or addresses of people in attendance.

PURPOSE OF MEETING

The Land Acknowledgement was read aloud.

The process for the hybrid meeting was outlined with the following points highlighted:

- To ask a question, those participation by Zoom were asked to use the raise hand feature, and, when called upon unmute yourself and you can ask your question.
- Prefer to indicate if you have a question versus using the Chat room for questions.

Background and Current Status

Ms. Ann Marie Cashin, Planner III, outlined that the purpose of this Public Meeting is for a text amendment to the rural residential zone to add rural tourism as a discretionary use. That means that within each zone there are permitted uses, and discretionary uses. If it is a permitted use, it is something that a property owner has the right to develop. If it is a discretionary use, there is a public process and Council at the end of the day has the ultimate decisions to approve or reject the use. We are proposing to add a new rural tourism use as a new discretionary use. This will be brought forward to Council for their decision or if there is a different application for a separate parcel within the rural residential zone that to come it would go through the public process as well.

The area surrounding this property is mostly within the Rural Residential (RR) zone, and the rear of the lot is within the rural zone. This is not a rezoning; it would remain in the Rural Residential zone but, the City would just be adding a new use to that zone.

The Municipal Plan policies, which are the overarching planning policies for the City, has this property is within the rural district and within the rural land use designation, zones are provided to accommodate uses such as agricultural, quarrying, forestry, natural heritage, and tourism uses and some limited rural residential uses. This is why the rural tourism use was proposed to keep in line with the overall Municipal Plan policy.

The applicant will explain the design and details of the application, but the proposed plan is to have a mix of a spa service and overnight accommodations which will have a parking lot, main building, and several outbuildings. Three of the domes will be overnight rental domes.

A spa alone would fall under the Service Shop definition from the Development Regulations and would require a commercial zone. The allowance of tourism uses in the Rural District enables Council to consider the application under the Rural District. With the addition of overnight accommodations, it can be considered a tourism use and why rural tourism new use has been proposed.

There will be 53 parking spaces and 6 bicycle parking spaces.

Lighting spill was also discussed and that there will not be any light spillage expected.

Next Steps

Ms. Cashin provide an overview of the next steps for those in attendance.

This rezoning does require a Municipal plan amendment, and there are multiple steps in this process:

- Initial public meeting stage, which is this meeting.
- A report from this meeting will be prepared and presented to Council for their consideration to proceed or not.
- If it is agreed to proceed, the City will send the amendments to the province for their review.
- Once the province has reviewed and released the documents the amendments go back to Council and Council will decide whether to proceed or not.
- If Council agrees to proceed, a public hearing will be held.
- The Public hearing is chaired by an Independent Commissioner, and the Commissioner will write a report to council with recommendations for approval, approval with conditions or rejection.
- The ultimate discretion is at Council and they can accept or reject the Commissioner's recommendations.
- Any written submissions on this should be sent through the project page of the City website or directly by email to the City Clerk by end of day this coming Friday June 9th, 2023).
- Minutes will be sent to Council for their consideration and Council will decide if they will adopt the amendment in principle or reject the amendment.

PRESENTATION BY THE DEVELOPER

Ms. Rebecca Bezanson, the Proponent for the Iceavik Nordic Spa provided an overview of the concept and plans for the property.

- Background was given on what a Nordic Spa is, the services and the process that are a part of the spa experience, including the hot pools, saunas, steam saunas, sitting areas for resting, and cool plunge area. It is a full day experience.
- Description of the main building, the other service buildings and the overnight domes was given by the proponent.
- There will be a Bistro dome – 33 feet in diameter, on a fixed structure.
- As well, one of the domes will be a yoga dome and three other treatment domes for facials, massage, etc.
- There will only be three Executive rental domes, for two people to stay overnight.
- Open 10:00 am to 7:00 pm.
- Whisper voices only, a quiet atmosphere.
- Mini-saunas – 1 sauna with a 10-person capacity, and small huts with saunas for 2-3 people.
- There will also be hammocks and areas to sit.
- There will be four pools, 12x18 feet each with two cold plunges.
- In the Executive rental domes, there will be washrooms and kitchenettes in each, it is a permanent structure.

COMMENTS & QUESTIONS FROM PARTICIPANTS

Members attending in person and online were offered the opportunity to ask questions to the proponent or City Staff on this proposal.

There were several areas of concern raised, and they included:

Water Usage

- Concern for the area's water table and well issues for area residents due to the volume of water expected to be used by the spa on a daily basis.
- Is there a guarantee to have the water trucked into to the spa as proposed, how long will that last, and who enforces that you will continue to do that when in operation. Want confirmation that water will be trucked in as proposed. Will the City enforce this?

Response from Staff: No, the City would not police this.

- How many wells will be drilled?
- Who will pay for water if wells are drilled by the spa and residents run low on water.
- Residents use timers on their pumps to preserve and conserve water levels in their wells.
- One resident feels that they may be low balling the numbers for water usage, as it may be double the amount if considering hygiene practices used in other spas across the country. Exact numbers of litres used per day per person was discussed, noting that an error in the numbers on the City website in the materials regarding this development.
- Resident cited the Chelsey Spa, and those area neighbours complained about water and their wells. Does the City have a plan to supply water to Blackhead if there are issues? Thinks the 75 litres is low, the Nordic spas contacted, for hygiene everyone must shower, is that something that will be practiced here?

Response by Proponent: the average person does 3-4 cycles and they have to shower after every cycle, before and after, as well, they need to shower before getting into the pool.

Response by Architect: this development is low density, with an estimated 65 people at the spa at one time. Water usage is estimated at 15,000 litres used per day.

- How many homes could be built on this property?

Response by Architect: There are rural developments that have half acre lots per unserviced lot, so it could be 16 homes could be built there. This is a point of reference, the zoning itself wouldn't be putting that number of homes on that piece of land, but rural developments can be half an acre and provide the water required.

Response by Staff: Ms. Cashin advised that in the rural residential zone the lot area required is 4,000 meters squared, and the lot frontage is 45 metres.

Response by Architect: Regarding the water table and wells, tests are required to determine if there would be issues with the existing water.

Wastewater

- Discharge of used water, chemicals or other coming from the discarded water, where is this water going? Is it going into the water table in the area? How will this be handled?

Response by Proponent & Architect: There will be some assurance gained through testing and flowrates and meeting required conditions to have the water available. There will be a plan for the water that needs to be disposed of, from pools, etc., may need to be trucked away or disposed of in a particular way. Water from showers, sinks and toilets there may be on site septic that would be treated before going into the leech fields.

Water Pooling

- Water collects on the property in ponds, how will this water be removed from the land, as it could have an impact on surrounding properties in the dispersal of this collected water.
- Concern about water pooling and the property requires backfilling, large boulders there as well.
- Asked how much acreage the Proponent owns there now, what would be developed of that land.

Response by Staff – Ms. Cashin explained the full process from start to finish if this is to proceed. We are currently at the beginning of the process and Council will have to consider if they are going to add this use to the zone. If Council does add the use, the Applicants will be required to apply for development approval. Then all the onsite servicing requirements and service approvals will need to be done. A flood plain analysis will also have to be done to see if there is a floodplain on the property, and if there is they have to get an Engineer to map it. Outside the boundaries there will be a 15-meter buffer and the applicant won't be able to develop within 1.5 meters of that buffer. If there is a flood plain running through the property, there will be policies in place to ensure that there is no development within that floodplain or buffer and the Applicant maybe have to alter the site design.

- Is this in a flood plain?

Response from Staff: The study hasn't been completed yet and it would be required at the Development approval stage. There is older provincial mapping that did show a stream or river but it is not on the City's floodplain map. The Proponent would have to do that study, to determine what it is, a stream or a floodplain and based on the study and how the City would identify it would depend on what policies would be applied.

Response from Staff: A study has not completed yet, should the amendment proceed, it will be done then. Older mapping shows there is a stream or river in the area, that is why a study would be needed, and then determined based on that study.

- How much land do you own? How much of the land are you clearing?

Response by Proponent: Do not own the land yet, it is based on the permit, 8.4 acres. 20% of that acreage would be affected by the development, the land will not all be cleared, only 2% hard landscaping.

Fire Risk/Combating Fire Concerns

- risk with outdoor accommodations and the use of fire pits as it could cause a devastating fire.
- careless disposal of cigarette butts in the overnight dome area by users.
- no fire hydrants in the area.
- closest pumper truck would take 45 minutes to arrive if there is a fire.
- would need several trucks to respond if it is a forest fire issue.
- lack of firefighting services in the area, length of response time if a fire occurs.
- Insurance premiums could rise for residents in the area if an outdoor campground is in the area.
- Lack of access, one road into the area, one road out of the area. Fire could potentially cut people off of being able to evacuate the area, leaving them trapped and at risk.
- Will the City be held accountable if this goes ahead and there is a fire and homes are lost or lives?

Response by Proponent: This location was chosen as it is part of the experience of the Nordic Spa. Guest will experience the forest. Fire prevention is important to the Proponent, and it was confirmed that there would not be woodstoves used. Heating of the overnight domes will be through ductless heat pumps. Where there would be fires those areas will be heavily monitored. The natural experience of the location is key to the experience. Fire and water are equal concerns to them as well, water is needed for the Spa.

Response by Architect: As this is a low-density development compared to others that could go there, the risk would also be low risk for fire. There are codes and regulations that will have to be met regarding fire prevention as well.

Response by Staff: Ms. Cashin noted that the application was reviewed by the St. John's Regional Fire Department and they advised that they do have policies in place for areas that have no municipal water and protocols for sending pumper trucks and the lack of fire hydrants.

Tourism Zone change

- Normally a spa would require a rezoning to commercial, and for this application, by adding accommodation, only need to add the rural tourism for discretionary use in this case.

Response from Staff: Ms. Cashin responded that from the policy it does allow for tourism considerations and consider overnight stays as tourism, and view this as a whole that they could use it by day or the weekend. If it was simply a spa it would be considered a Service Shop and rezoning to a commercial zone would be required.

- Perception that this is getting around having to rezone by calling it a tourism site.
- Some in attendance expressed that they would argue that this should be rezoned to commercial and not considered tourism.
- Feeling that this meeting is moot as the dome tents were going to be up – average of 60 people a day, it is a spa so why are we trying to rezone this to something it is not.
- Seems there is some sort of loophole that could be used, can my property which has a lot better view, that I can go in through and maybe put a hotel there?
- Questions asked on the business, hours of operation, expected number of guests per day, will it be a year-round business or only a summer business.
- Is this a Spa or a tourism operation?

Response by Proponent – This is mostly a spa, and it will be a year-round operation; peak season will be from May to September but expect many residents will also use this regularly. It will be a big tourist attraction.

Response by Architect: It is expected to have about 65 people, which is estimated to be the current traffic to Cape Spear a day.

Cell Coverage/Landlines

- No cell coverage, internet phone does not work in the area.
- No cell service in the area, if an emergency occurs, people knocking on doors at all hours looking for help.

Crime/Security on Site

- This may bring crime into the area, cars in the parking lot could be broken into, seeing an increase in crime in the area.
- Bringing criminals to the area, could check resident's properties in the daytime and come back and break in and steal belongings.
- Lack of continuous onsite security if things get out of hand.
- Possibly have just one Staff member to be on the premises overnight .
- Security could be monitored from off site – this is not good enough if there are rowdy or disorderly conduct at one of the overnight sites.
- Staffing levels, lack of overnight security.

Bistro Onsite and Alcohol Consumption

- Concern was expressed on the service of alcohol at the Spa.
- Use of alcohol by overnight guests in the Dome Tents, outdoor fire pits being used and the hazard of alcohol and fire pits could cause.
- Drunk driving is a possibility when guests are leaving the Spa after the day and driving out of the area.
- Lack of taxis agreeable to drive the distance to pick up fares, the distance and cost of a taxi may lead to more people driving after consuming alcohol.

Commercial Business in a rural area

- Residents do not want to see the rural community in which they live be altered to allow businesses.
- Hunting and Fishing area in the area could be impacted.
- Loss of natural landscape, impact on animals and the environment in the area.
- Important hiking trails may be disturbed.
- Loss of access to Quad track/trail.

Response from the Architect – it was noted that this trail is outside the boundary of the Spa and won't affect access.

- Residents are tired and stressed by proposed development in the area, fought the campground before and now having to deal with this.
- Wood cutting permits issued by province, noise from chain saws.
- No one is going to 'move' residents out by developments, it is our generational home.
- Spa is a commercial use, changing the regulations, adding accommodations to allow this to be built, loophole.
- Residents' feelings toward the development needs to be considered in making this decision by Council.
- Not a question of a spa not being a good idea, no issue with a spa, but we do not want it in a residential area.

Increased Traffic Congestion

- With the expected number of 200 customers per day, traffic will increase for the area, which is already busy with people going to Cape Spear.

Quiet/Whisper Only

- Concerns were raised about the Spa's quiet – whisper only environment. There is allowable hunting in the area, wood cutting and nearby ATV trails, many residents noted having multiple dogs. All these will impact the quiet environment the Spa is looking for, not the right area if looking for quiet.

Overnight Executive Domes

- Service of alcohol and concern for intoxicated individuals and individuals driving while under the influence and serious outcomes that could result.
- Overnight accommodations – Dome tents, not cabins, temporary structures.

- Residents are passionate about their homes and their communities and do not want development of this kind in the area.
- Trying to rezone this area to something it is not by using the dome tent concept.
- They are putting a Spa in a residential area, not zoned for this type of use.
- The land-use report stated that the overnight facilities are not camping facilities, they are similar to a bed and breakfast. It is luxury domes that they intend on using. Domes are tents, temporary structures, but still tents, they avoided saying they were tents, avoiding reference to camping, had a campground denied previously, they have opposed yurts, 800 metres down the road, the yurts are cheaper than the domes, they both offer luxury glamping experience. City Staff direction would not recommend amending it, but when you read the land-use report that they understood the assignment to not use the word camp.

Response by Proponent & Architect: A 24-hour monitoring system will be in place. No decisions on the type of monitoring/security.

Supportive comments for the Spa and the Benefits

- Support from an attendee who has used these spas throughout the country, it is good for those that use the services, great peaceful in natural environment.
- These spas do reduce stress and anxiety, public has to have faith in specialists and professionals to assess this application and who know these issues, Councillors, Fire Department, etc. They study this and will ensure that the rules and by-laws are adhered to with this development.
- Excited about this, looks like a good spot, well in nature, nice, wooded area, quiet development and accessible, feels this is a good opportunity and tourist potential.
- No connection, don't live in Blackhead, would love this, I visit a similar spa in another province. We have driven past it if you had seen it there would be more support, wanted to say that there is support for it and is excited for this and will be a huge customer.
- Experienced a lot of Nordic spas, provide such a vast array of health benefits, am excited about this spa. Thinks this is an asset, more tourism and health benefits. Thank you for bringing this to the province, if you have experienced with these elsewhere, it is great. A lot of people in the province support this and need to leave the personal comments and let the engineers and professionals do their assessments, etc.
- For the spa, feel it is good for tourism and will bring a lot of people, comments and shares are really high on Facebook, know the people from Blackhead are here, some of the things that were said are false, a few of the families have 18 x 18 pools in their backyards or two pools in their backyards. But no worries about that. There are fire pits lit in the community and residents do not seem to be worried about that. This development will be following code. The way that this is proposed, you cannot see it from the road. Educate yourselves on what is being done, and what the City is doing.

- No vested interest in this, wanted to have something to say, understands the concerns of the people of Blackhead, fire is a concern for the owner of the Spa as well. Provincial tourism jobs are important, might not want it in my neighbourhood but there are limited areas in the province to build these sorts of things, if the engineering is done it should be open for consideration.
- It was noted that there is a strict limit on alcohol use at these types of spas in other locations visited; no one served more than one an hour. It was strictly controlled.

CONCLUDING REMARKS

Ms. Ryan thanked all for participating in the public meeting to discuss this potential development. Understands emotions run high, respect opinions, and exchanging views, this is what these meetings are for.

Ms. Ryan encouraged feedback or questions to be sent to the City Clerk's office so that they are presented to Council and the proponent will be able to respond.

ADJOURNMENT

The meeting adjourned at 9:15 pm.

DECISION/DIRECTION NOTE

Title: Canadian Capital Cities Organization – 2023 Annual Conference

Date Prepared: August 7, 2023

Report To: Regular Meeting of Council

Councillor and Role: Mayor Danny Breen, Governance & Strategic Priorities

Ward: N/A

Decision/Direction Required:

Seeking approval for Councillor Sandy Hickman to attend the 2023 Canadian Capital Cities Annual Conference from October 1st to October 4th, 2023 in Charlottetown, PEI.

Discussion – Background and Current Status:

Councillor Hickman is the City's representative on the Canadian Capital Cities Organization (CCCO). Its semi-annual meeting is being held in Charlottetown from October 1st to October 4th, 2023, and approval is sought for Councillor Hickman to attend this meeting.

Key Considerations/Implications:

1. Budget/Financial Implications: Travel is budgeted under Council Travel.
2. Partners or Other Stakeholders: Canadian Capital Cities Organization (CCCO)
3. Alignment with Strategic Directions:

An Effective City: Ensure accountability and good governance through transparent and open decision making.

A Sustainable City: Be financially responsible and accountable.

4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: N/A
6. Legal or Policy Implications: N/A
7. Privacy Implications: N/A
8. Engagement and Communications Considerations: N/A

ST. JOHN'S

9. Human Resource Implications: N/A

10. Procurement Implications: N/A

11. Information Technology Implications: N/A

12. Other Implications: N/A

Recommendation:

That Council approve the travel costs for Councillor Hickman to attend the Annual Conference of the Canadian Capital Cities Organization in Charlottetown, Prince Edward Island from October 1st to October 4th.

Prepared by: Christine Carter, Legislative Assistant

Approved by:

Report Approval Details

Document Title:	DN - Canadian Capital Cities - October 2023 Meeting.docx
Attachments:	
Final Approval Date:	Aug 7, 2023

This report and all of its attachments were approved and signed as outlined below:

No Signature - Task assigned to Karen Chafe was completed by workflow administrator Stacey Baird

Karen Chafe - Aug 7, 2023 - 10:39 AM

DECISION/DIRECTION NOTE

Title: Payment of Invoices - Royal St. John's Regatta

Date Prepared: July 31, 2023

Report To: Special Meeting of Council

Councillor and Role: Mayor Danny Breen, Governance & Strategic Priorities

Ward: N/A

Decision/Direction Required:

Council's approval is being sought for the outstanding invoice from the Royal St. John's Regatta Committee for traffic control provided for the 2022 Regatta Day event and to pay for the additional street closure/parking enforcement services for this year's event.

Discussion – Background and Current Status:

The Royal St. John's Regatta Committee is seeking payment for the invoice attached to this Decision Note that was inadvertently not submitted to the City for the extra traffic control for the 2022 Royal St. John's Regatta.

This year's event will also require approximately the same resources and, like last year, Council is also requested to pay that invoice.

Key Considerations/Implications:

1. Budget/Financial Implications: N/A
2. Partners or Other Stakeholders: Royal St. John's Regatta Committee
3. Alignment with Strategic Directions:

A Sustainable City: Be financially responsible and accountable.

An Effective City: Ensure accountability and good governance through transparent and open decision making.

4. Alignment with Adopted Plans: N/A
5. Accessibility and Inclusion: N/A

ST. JOHN'S

- 6. Legal or Policy Implications: N/A
- 7. Privacy Implications: N/A
- 8. Engagement and Communications Considerations: N/A
- 9. Human Resource Implications: N/A
- 10. Procurement Implications: N/A
- 11. Information Technology Implications: N/A
- 12. Other Implications: N/A

Recommendation:

That Council pay the outstanding invoice for traffic control hired by the Royal St. John's Regatta Committee for the 2022 Royal St. John's Regatta in the amount of \$3,588.00 (HST included) and the invoice for the 2023 Royal St. John's Regatta in the amount of \$2,156.25 (HST included).

Prepared by: Christine Carter, Legislative Assistant, City Clerk's Department
Approved by: Kevin Breen, City Manager

Report Approval Details

Document Title:	Payment of Outstanding Invoice - 2022 Royal St. John's Regatta.docx
Attachments:	
Final Approval Date:	Aug 1, 2023

This report and all of its attachments were approved and signed as outlined below:

No Signature - Task assigned to Karen Chafe was completed by workflow administrator Christine Carter

Karen Chafe - Jul 31, 2023 - 4:26 PM

No Signature - Task assigned to Kevin Breen was completed by workflow administrator Christine Carter

Kevin Breen - Aug 1, 2023 - 11:56 AM

THE ROYAL ST. JOHN'S
REGATTA COMMITTEE INC.
10 Clancey Dr
St. John's NL A1A 5P5
+1 7095768921
general@stjohnsregatta.com
<https://stjohnsregatta.ca/>

Invoice 2020GS2784-1



ROYAL
ST. JOHN'S
REGATTA
Est. 1818

BILL TO

City of St. John's
P.O. Box 908
St. John's Newfoundland
A1C 5M2

DATE
08-08-2022

PLEASE PAY
\$3,588.00

DUE DATE
08-08-2022

	QTY	RATE	AMOUNT
Regatta Day	1	3,120.00	3,120.00
Extra Security - Regatta Day 2022			
Security Regatta Day 2022			
		SUBTOTAL	3,120.00
		HST (NL) 2016 @ 15%	468.00
		TOTAL	3,588.00
		TOTAL DUE	\$3,588.00

THANK YOU.

Payment can be made via Electronic Money Transfers (EMT) to emt@stjohnsregatta.com or cheque made payable to: The Royal St. John's Regatta Committee

Please include your Vendor Name and/or Invoice # in the memo section of your EMT or Cheque.

If you have any questions, please contact invoices@stjohnsregattas.com.



Campbell Feehan
 3 Laurel Willow Close
 Outer Cove NL A1K 4B2
 Email: cfeehan18@gmail.com
 Phone: (709) 744-5033

Client:	Date	August 3 2023
Regatta Day Parking for St John's	Invoice no	2023-180
Michelle Goobie	HST	81013 8230

FOR SECURITY SERVICES RENDERED:

1. Provision of security services -
 5 staff August 2 2023 630am- 600pm @ \$30.00

\$ 1,875.00

Total Services

\$1,875.00

Total

\$ 1,875.00

Taxable Amount

1,875.00

15% HST

281.25

Total Payable:

\$ 2,156.25